



**City of Annapolis**  
**Department of Planning and Zoning**  
 145 Gorman Street, 3<sup>rd</sup> Fl  
 Annapolis, MD 21401-2529

FOR CITY USE ONLY	
PERMIT #	_____
ISSUED	_____
BY	_____
EXPIRES	_____

[Permitting@annapolis.gov](mailto:Permitting@annapolis.gov) • 410-260-2200 • Fax 410-263-9158 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

## Building Permit Application

Per City Code [Section 17.12.056](#), fees are not refundable.

### [Fee Schedule](#)

Please note that, per City Code [Section 17.28.090](#), any expansion or change in use may be subject to capital facility assessment charges.

Building site address \_\_\_\_\_ Suite/Unit # \_\_\_\_\_

Property Tax ID # \_\_\_\_\_ Lot # \_\_\_\_\_ Zone \_\_\_\_\_

Is above address within the Historic District area?    Yes    No    Waterfront?    Yes    No

Within the floodplain?    Yes    No    Sprinkler system in building?    Yes    No

Property Owner Information	Contractor's Information
Name _____	Name _____
Address _____	Address _____
City _____ State _____ Zip _____	City _____ State _____ Zip _____
Day phone _____ Cell _____	Day phone _____ Cell _____
E-mail _____	E-mail _____

Applicant Information	Architect/Engineer Information
Name _____	Name _____
Address _____	Address _____
City _____ State _____ Zip _____	City _____ State _____ Zip _____
Day phone _____ Cell _____	Day phone _____ Cell _____
E-mail _____	E-mail _____

Occupant Information	Permit Information
Name _____	Please check if any of the following work to be done is:
Address _____	
City _____ State _____ Zip _____	Value of work \$ _____
Day phone _____ Cell _____	
E-mail _____	

Please provide 24-hour emergency contact information:

Name \_\_\_\_\_ Phone \_\_\_\_\_

Describe proposed work:

Permit # \_\_\_\_\_

Building site address \_\_\_\_\_ Date \_\_\_\_\_

Contractor License	License #	Expiration Date
MHIC		
State of MD Construction		
MD Homebuilder Registration (New residential dwellings only)		

**Dimensions**

Lot size \_\_\_\_\_ Building size (sq. ft.) \_\_\_\_\_ Building height \_\_\_\_\_ # of stories \_\_\_\_\_

Proposed work area (sq. ft.) \_\_\_\_\_ Basement area only (sq. ft.) \_\_\_\_\_

Total floor area (sq. ft. including basement) \_\_\_\_\_ Is it a corner lot? Yes No

Proposed setbacks from property line (ft) Front \_\_\_\_\_ Left \_\_\_\_\_ Rear \_\_\_\_\_ Right \_\_\_\_\_

If a water or sewer connection is required, I prefer:

City installation To seek approval of the Public Works Department to have it installed by a licensed contractor (which may require a Street/Sidewalk Opening Permit and/or a bond)

Are trees being removed? Yes No If yes, complete a Tree Permit application.

Are there trees within 15' of the limit of disturbance? Yes No If yes, show trees on a submitted site plan and identify those to be removed.

A use permit is required for new tenants, change of occupancy or owner, or expansion of a commercial use. (A Use Permit Application must accompany the Building Permit Application.)

Existing use \_\_\_\_\_

Proposed use \_\_\_\_\_

A certificate of occupancy may be required as determined by the Code Official.

**Signature of owner or authorized agent**

The applicant certifies and agrees as follows: (1) that they are authorized to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically described in this application; (5) that they grant City officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices; (6) if you choose to appeal the issuance, decision, determination or order of this permit, the petition for appeal shall be in writing stating the grounds for appeal and shall be filed with the Building Board of Appeals within 15 calendar days of issuance, decision, determination or order. Any right to appeal shall be waived if not timely filed.

Owner or Authorized Agent (print) \_\_\_\_\_

Signature Maria Groben Date \_\_\_\_\_

**FOR CITY USE ONLY**

PZ final approval \_\_\_\_\_ Date \_\_\_\_\_

App fee paid \_\_\_\_\_ Permit fee \_\_\_\_\_ Fee due \_\_\_\_\_



**City of Annapolis**  
 Department of Planning and Zoning  
 Historic Preservation Division  
 145 Gorman Street, 3<sup>rd</sup> Floor  
 Annapolis, MD 21401-2535

FOR CITY USE ONLY	
AGENDA #	_____
PROJECT #	_____
MEETING DATE	_____

[HistPres@annapolis.gov](mailto:HistPres@annapolis.gov) • 410-260-2200 • Fax 410-263-1129 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

## HPC Public Hearing Application for Certificate of Approval

**Authority**

State of Maryland Land Use Code, Division I, Title 8 Historic Preservation  
 City of Annapolis Historic District Zoning Ordinance 21.56  
 Secretary of the Interior's Standards for Rehabilitation  
 Building in the Fourth Century: Annapolis Historic District Design Manual

Commercial      Residential

Building site address \_\_\_\_\_

Provide complete information below. Mailing addresses and telephone numbers are *required*.

Property Owner Information	Contractor's Information
Name _____	Name _____
Address _____	Address _____
City _____ State _____ Zip _____	City _____ State _____ Zip _____
Day phone _____ Cell _____	Day phone _____ Cell _____
E-mail _____	E-mail _____

Authorizing Applicant Information	Architect/Engineer Information
Name _____	Name _____
Address _____	Address _____
City _____ State _____ Zip _____	City _____ State _____ Zip _____
Day phone _____ Cell _____	Day phone _____ Cell _____
E-mail _____	E-mail _____

**Tax Credit**

Will you be applying for the City's Historic Preservation Tax Credit? Yes      No

The tax credit is limited to those expenses having to do with the exterior features and limited interior life safety alterations of a contributing historic structure. The total estimate of expenses per application must exceed \$5,000. Applications must be submitted prior to start of work. Please refer to the Annapolis City Code [Section 6.04.230](#) – Historic Preservation Tax Credit.

**Easement**

Are there any easements or deed restrictions for the exterior of this building or the site? Yes      No

If yes, submit a letter from the easement holder stating their approval of the proposed work.

**Description of Work Proposed - Please be specific and include as much information as possible in the box below.**  
Attach an extra sheet if more space is needed.

**Project Cost and Fees**

Estimated cost of the improvement \$ \_\_\_\_\_

**Filing Fee**

- Public Hearing Application based on 1% of estimated cost. Minimum \$35.00 – Maximum \$1,000.00
- "After the Fact" Public Hearing Application based on 1% of estimated cost. Minimum \$50.00 - Maximum \$2,000.00

Make check payable to *City of Annapolis*.

**Signature of owner or authorized agent**

The applicant certifies & agrees as follows: (1) that they are authorized by the property owner to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically approved by the Historic Preservation Commission; (5) that they are authorized by the property owner to grant City officials the right to enter onto the property for the purpose of inspecting the work permitted.

**A Notice of Public Hearing sign will be made available to the applicant. By signing this application, the applicant acknowledges that it is their responsibility to post the sign 15 days before the hearing.**

Owner/Applicant signature  Maria Groben  Date \_\_\_\_\_

FOR HPC USE ONLY

Rate x Estimated Cost \$ \_\_\_\_\_ Application received \_\_\_\_\_

Date paid \_\_\_\_\_ Amendment to COA # \_\_\_\_\_

HPC Approval \_\_\_\_\_ Date \_\_\_\_\_



Historic Preservation Commission  
City of Annapolis  
Department of Planning and Zoning  
145 Gorman Street  
Annapolis, MD 21401

Re: 61 Franklin Street  
HPC Application

The proposed project consists of a renovation and addition to the two- and one-half story dwelling with an unfinished basement. Additionally, the rear yard pool and grade will be reconfigured. The original structure was built circa 1906.

The house will be expanded towards the west setback approximately 3'-0" and expanded towards the north setback approximately 19'-0". No work will be done in the basement unless pertaining to necessary crawlspace due to expansions. The first-floor work will consist of reconfiguration of rooms, window and door relocation and replacement, demolition and reconstruction of a playroom in the west expansion, and an addition of a living space in the north expansion. The second-floor work will consist of reconfiguration of rooms, window relocation and replacement, and the addition of a master bathroom above the west expansion. The third-floor work will consist of reconfiguration of rooms and window replacement. In addition to the expanded footprint, a side porch will be constructed on the west elevation.

61 Franklin Street is located in height District 1 of the Historic District of Annapolis; therefore, the maximum cornice height is 22'-0" from the center of the building at the front setback line. From that point the house façade is set back so the roof does not exceed a line projecting at a 45-degree angle from the 22'-0" cornice height to the maximum ridge height of 32'-0". The new roof on the west expansion is a cedar shingle gable roof with a slope of 7 ½"/12" which resembles a similar pitch of the existing roof.

The attached site plan indicates the above changes as well as the necessary impervious coverage adjustments that are required to be made for the IDA (Intensely Developed Area) of the Chesapeake Bay Critical Area.

The material palette will match the material palette of the existing house. All siding and roofing are to be cedar shingles to match existing. All trim, windows, and doors are to be wood/wood framed to match existing. See attached for specifications.

Lighting, exterior hardware selection, and final brick selection are to be determined at a later date and sent to HPC by the General Contractor for approval.

Thank you,

Submitted by:

*Maria Groben*

Maria Groben  
Purple Cherry Architects



61 Franklin Street

Existing Conditions





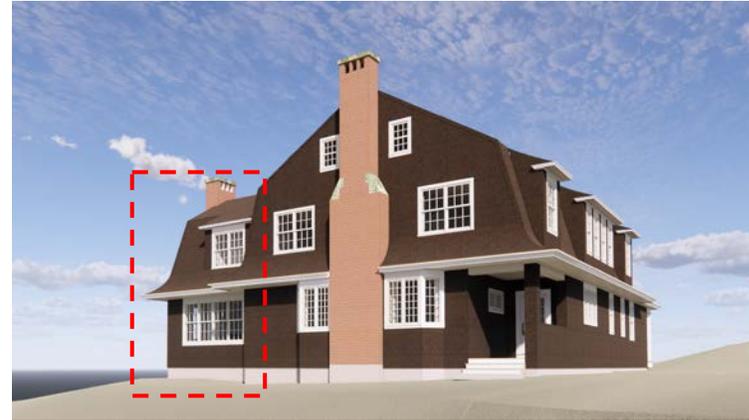
61 Franklin Street

Existing vs. Proposed Conditions

- - - - Proposed Conditions



South Perspective - Existing



South Perspective - Proposed



West Perspective - Existing



West Perspective - Proposed



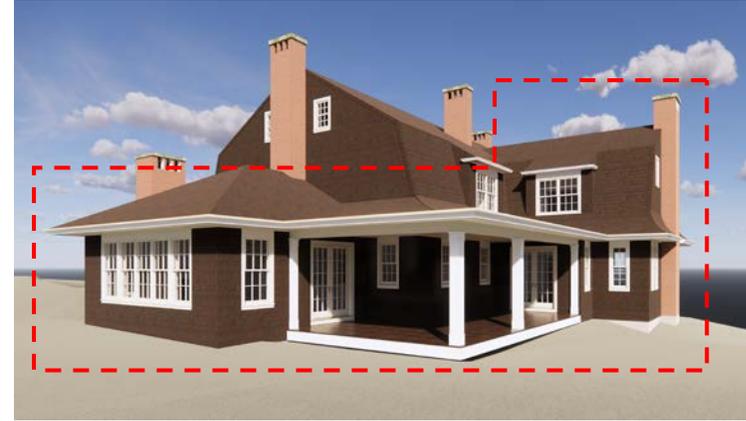
61 Franklin Street

Existing vs. Proposed Conditions

- - - - Proposed Conditions



North Perspective - Existing



North Perspective - Proposed



East Perspective - Existing



East Perspective - Proposed



## 61 Franklin Street

### West Elevation Demolition and Playroom Addition

The original structure consisted of a one-story open porch on the southwest corner of the house. It was later converted into a sunroom, retaining the original footprint. The requested demolition will remove the existing sunroom as noted on the demolition plans. The proposed addition is a new two story gambrel structure. See drawings for exact locations and dimensions.

### Existing Conditions







## 61 Franklin Street

### West Elevation Porch Addition

The existing home consists of a brick patio directly outside the existing sunroom and dining space. The proposed porch addition will be built on existing impervious coverage. This addition involves the removing and relocating of five windows currently in the existing dining room. See drawings for exact locations and dimensions.

### Existing Conditions





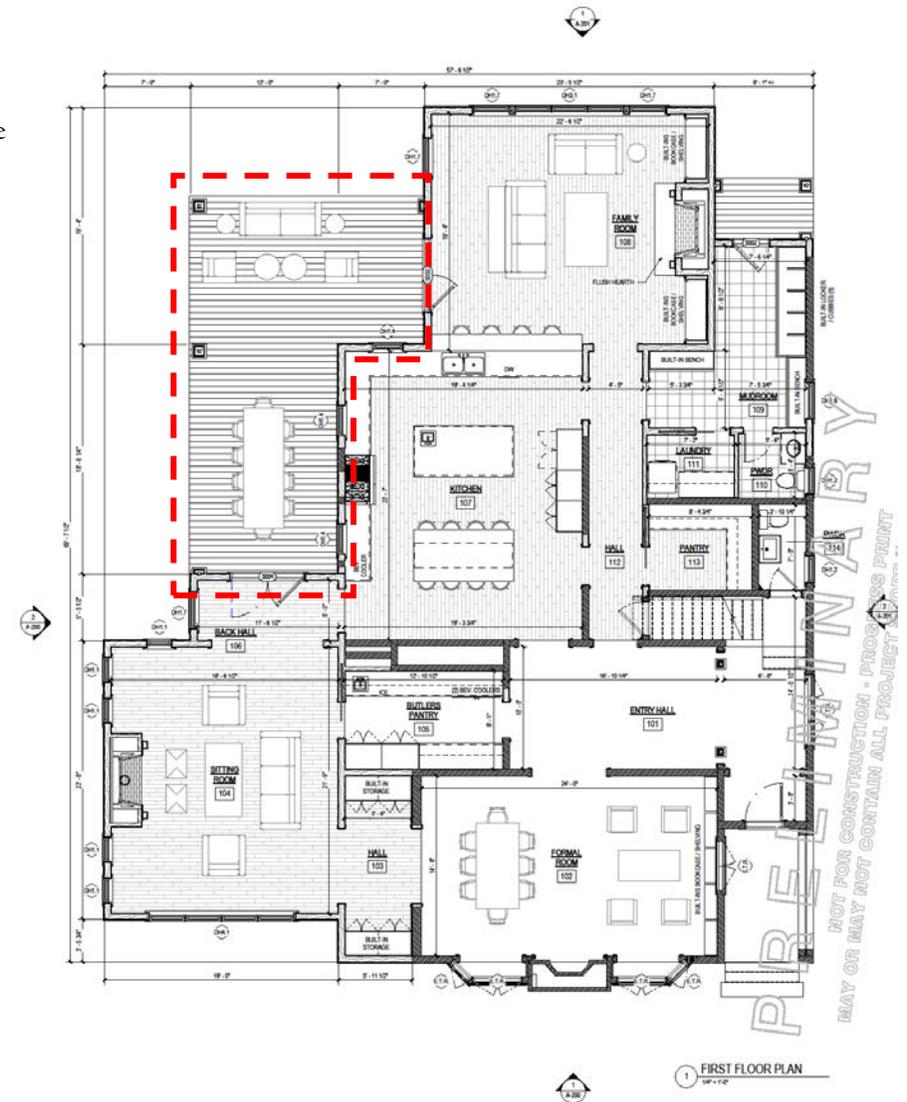
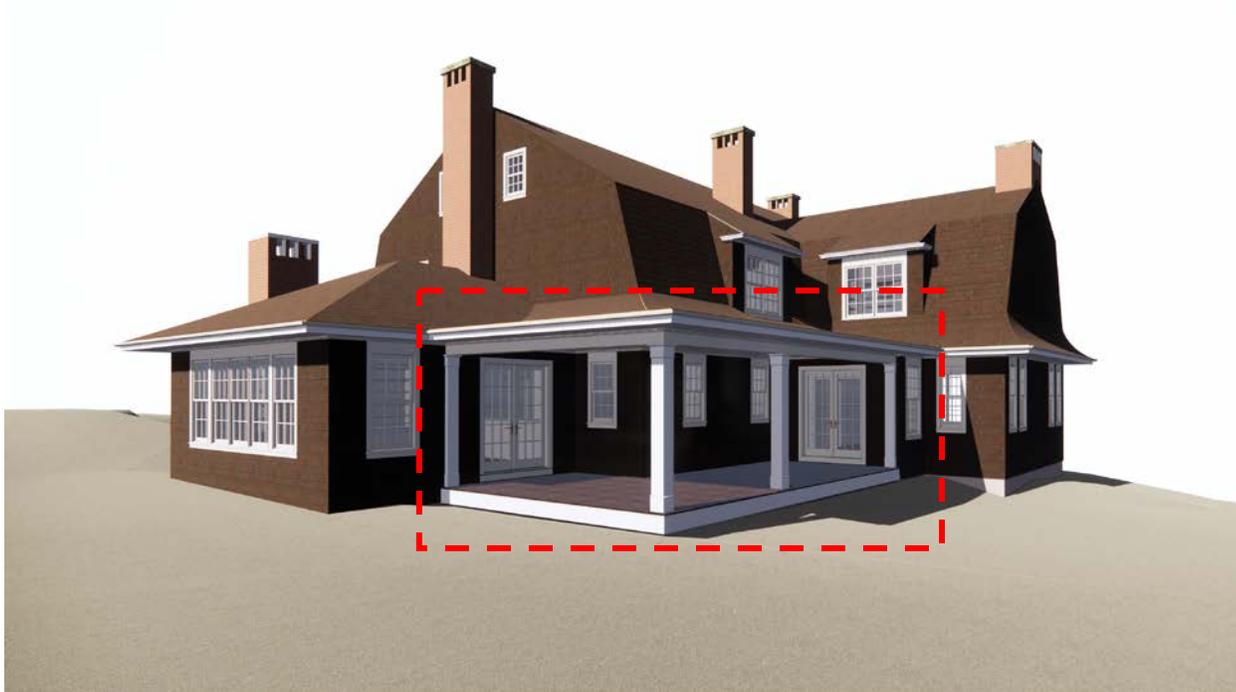
### 61 Franklin Street

#### West Elevation Porch Addition

The existing home consists of a brick patio directly outside the existing sunroom and dining space. The proposed porch addition will be built on existing impervious coverage. This addition involves the removing and relocating of five windows currently in the existing dining room. See drawings for exact locations and dimensions.

#### Proposed Addition

- - - Proposed Addition



1 FIRST FLOOR PLAN  
UP - 1/8"

PRELIMINARY  
NOT FOR CONSTRUCTION - PROCESS PRINT  
MAY OR MAY NOT CONTAIN ALL PROJECT INFORMATION



## 61 Franklin Street

### North Elevation Family Room Addition

The original structure consists of a covered porch on the north elevation. The requested demolition will remove the existing covered porch. The proposed addition will be a family room with slightly larger footprint, preserving the existing chimney on the north elevation. See drawings for exact locations and dimensions.

### Existing Conditions





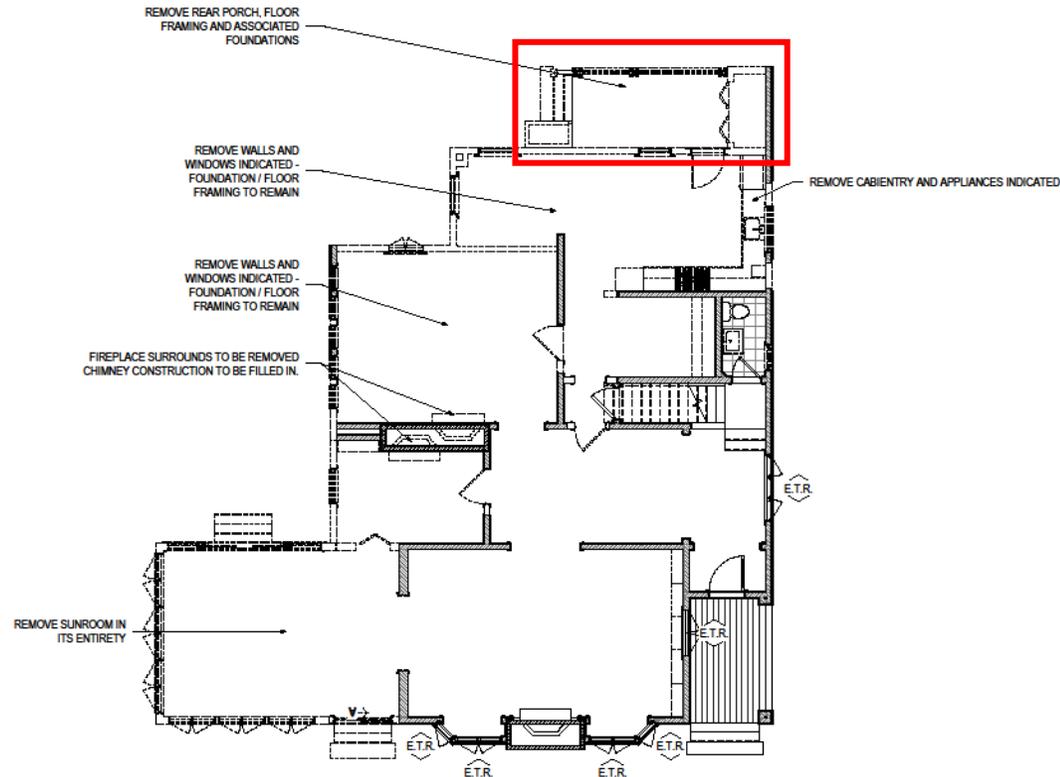
### 61 Franklin Street

#### North Elevation Family Room Addition

The original structure consists of a covered porch on the north elevation. The requested demolition will remove the existing covered porch. The proposed addition will be a family room with slightly larger footprint, preserving the existing chimney on the north elevation. See drawings for exact locations and dimensions.

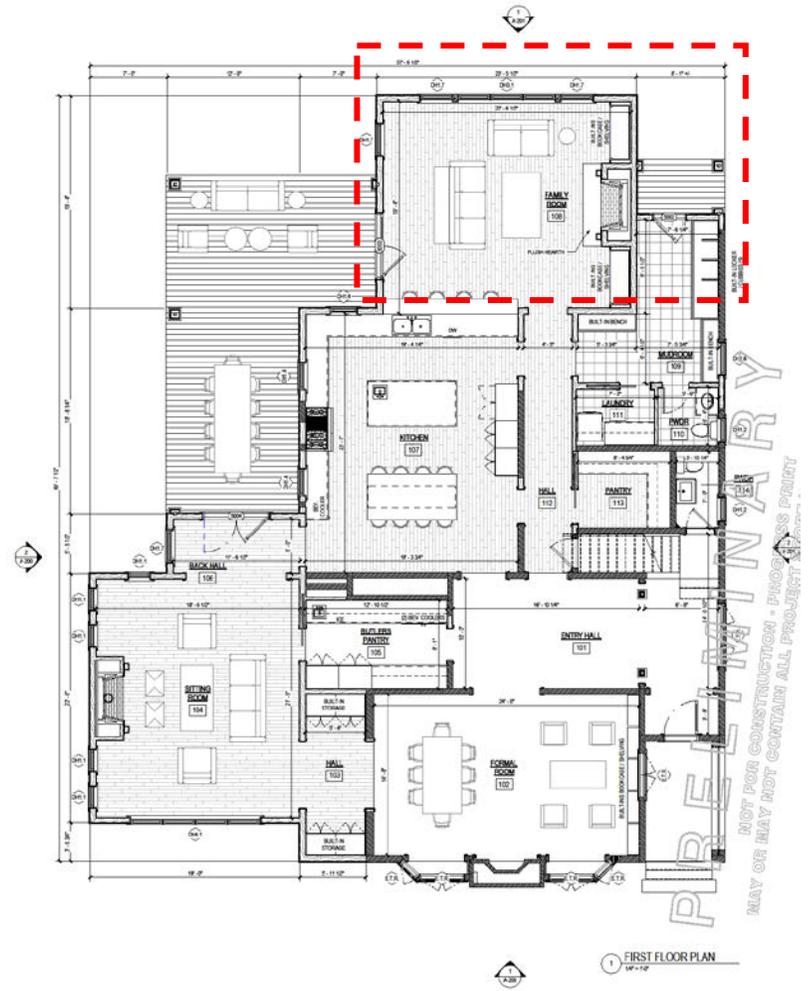
#### Demolition of Existing

- Demolition
- - - Proposed Addition



1. REMOVE ALL EXISTING ROOF MATERIALS TO SUBSTRATE, U.N.O.
2. REMOVE ALL EXISTING WALL MATERIALS TO SUBSTRATE, U.N.O.

#### Proposed Addition



FIRST FLOOR PLAN

NOT FOR CONSTRUCTION - PROCESS PRINT  
MAY OR MAY NOT CONTAIN ALL PROJECT INFORMATION



### 61 Franklin Street

#### Windows and Doors

All windows that have been replaced (labeled as "Replacement") with clad double-hung windows will be removed and replaced with Marvin Signature Collection Ultimate Wood Double Hung windows. See attached for specifications. See drawings for lite configuration and locations. The exterior paint color and casings are to match existing.

#### Existing First Floor Windows and Doors

REPLACEMENT      REPLACEMENT      REPLACEMENT      EXISTING TO RELOCATE      REPLACEMENT



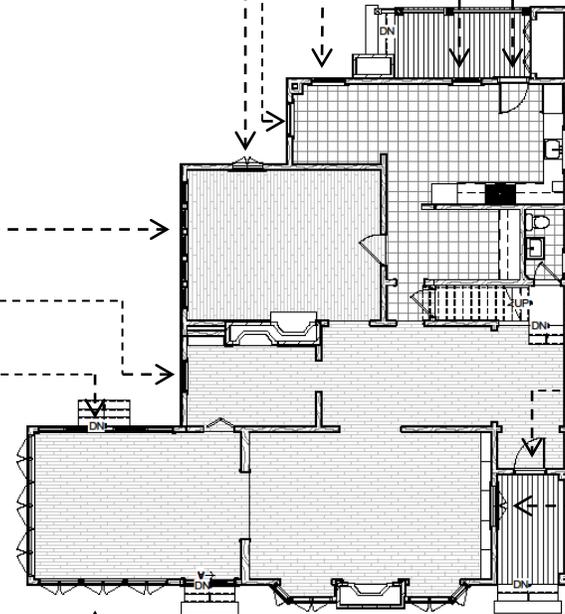
REPLACEMENT      EXISTING TO REMOVE      EXISTING TO RELOCATE



REPLACEMENT      EXISTING TO REMAIN      EXISTING TO REMAIN



REPLACEMENT      REPLACEMENT      REPLACEMENT



EXISTING TO REMAIN      EXISTING TO REMAIN





61 Franklin Street

Windows and Doors

All windows that have been replaced (labeled as "Replacement") with clad double-hung windows will be removed and replaced with Marvin Signature Collection Ultimate Wood Double Hung windows. See attached for specifications. See drawings for lite configuration and locations. The exterior paint color and casings are to match existing.

Existing Second Floor Windows



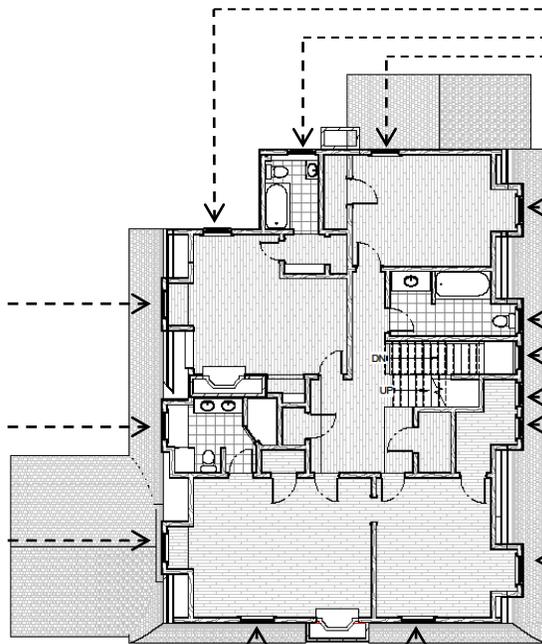
REPLACEMENT



REPLACEMENT



REPLACEMENT



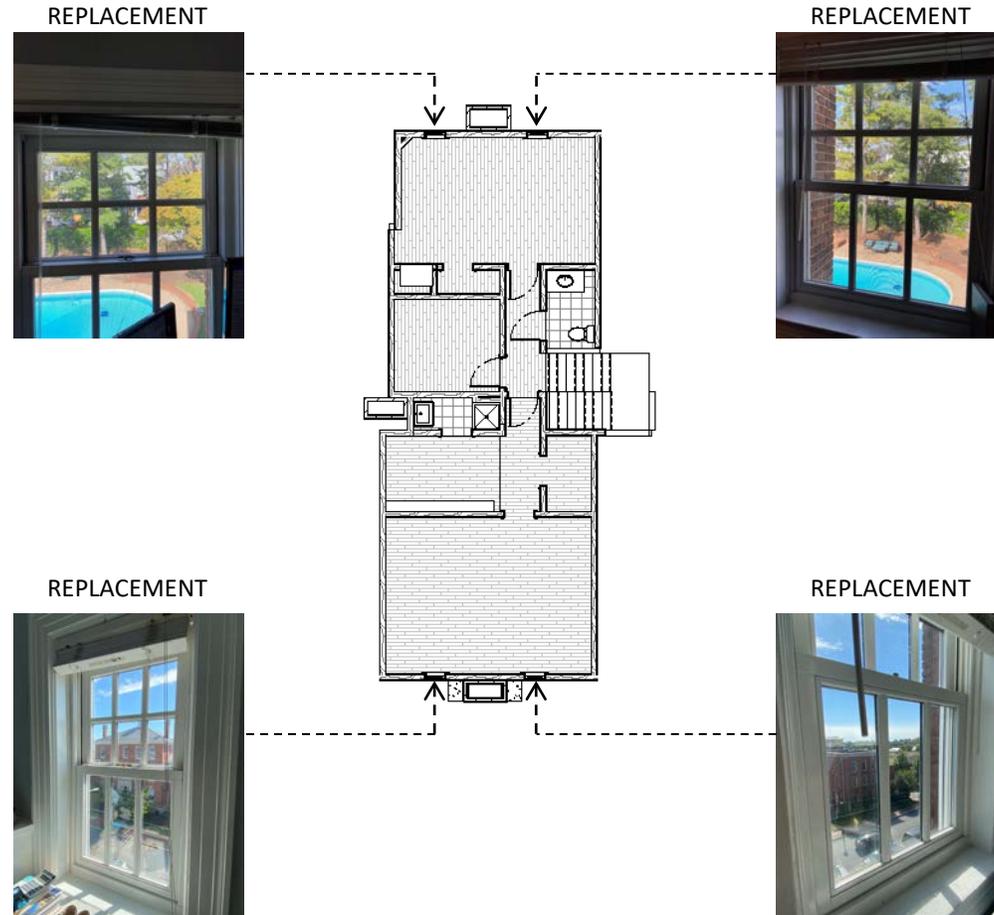


## 61 Franklin Street

### Windows and Doors

All windows that have been replaced (labeled as “Replacement”) with clad double-hung windows will be removed and replaced with Marvin Signature Collection Ultimate Wood Double Hung windows. See attached for specifications. See drawings for lite configuration and locations. The exterior paint color and casings are to match existing.

### Existing Third Floor Windows





### 61 Franklin Street

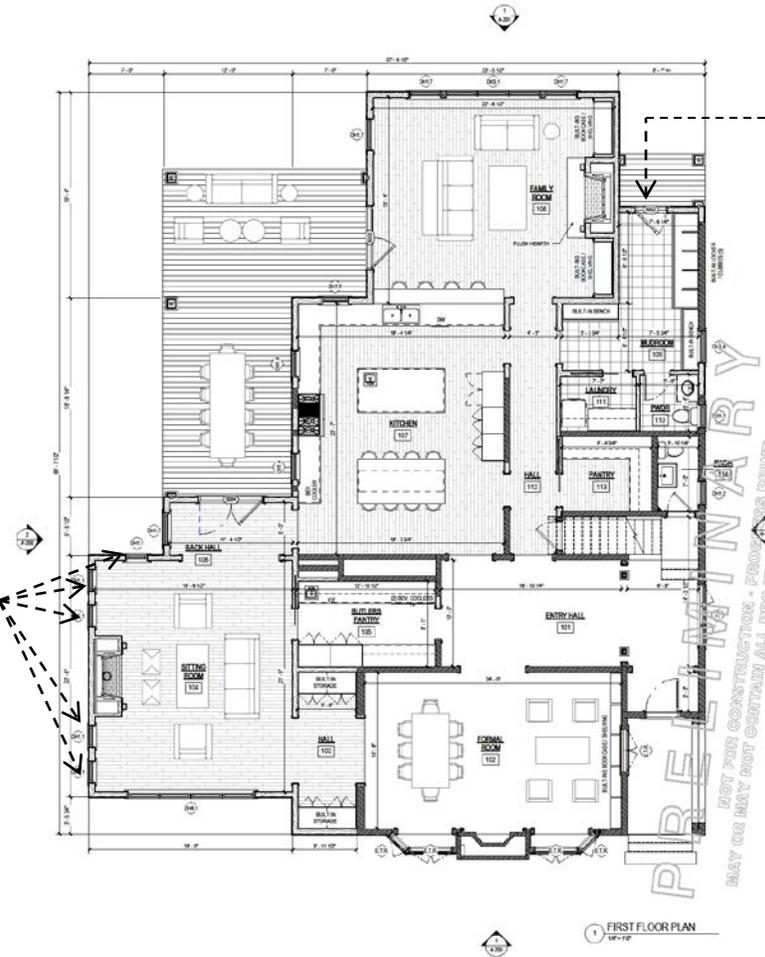
#### Windows and Doors - Original to Relocate

The original windows in the dining room are to be relocated to the new sitting room on the west elevation.  
The original back door off of the kitchen is to relocate to the new mudroom on the north elevation. See drawings for location and exact placement of windows and doors.

#### Proposed Relocation of Existing Original Windows



EXISTING DINING ROOM WINDOWS TO RELOCATE TO NEW PLAYROOM



EXISTING DOOR IN KITCHEN TO RELOCATE TO NEW MUDROOM

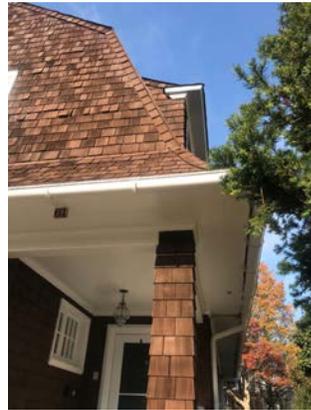


## 61 Franklin Street

### Exterior Wall Materials

The shingles at 61 Franklin are to be replaced with Western Red #1 cedar shingles to match the existing cedar shingles. The shingles will be finished to match the existing color of the home. Synthetic substitutes for wood shingles are not appropriate in the Historic District.

### Existing Shingle



### Proposed Shingle Specifications

Western Red Cedar #1  
18" Perfections Blue Label/ Certigrade  
100% Heartwood, 100% Clear, 100% Edge Grain  
18" in length (min. 17-1/4")  
Thickness - 5 Shingles = 2 1/4" thick (45/100" each)  
Widths - Random 4"-14"





## 61 Franklin Street

### Roofing Materials

The roofing material at 61 Franklin Street consists of asphalt shingle on the top slopes and cedar shingles on the side slopes. Both roofing materials will be demolished and replaced with Western Red #1 cedar shingles to match what was existing.

### Existing Roof



### Proposed Roof Specifications

Western Red Cedar #1  
18" Perfections Blue Label/ Certigrade  
100% Heartwood, 100% Clear, 100% Edge Grain  
18" in length (min. 17-1/4")  
Thickness - 5 Shingles = 2 1/4" thick (45/100" each)  
Widths - Random 4"-14"



# WOOD DOUBLE HUNG

MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	2-10 1/2 (876)	3-0 1/2 (927)	3-2 1/2 (978)	3-4 1/2 (1029)	3-8 1/2 (1130)	4-0 1/2 (1232)
RO (mm)	1-10 3/8 (568)	2-2 3/8 (670)	2-6 3/8 (772)	2-8 3/8 (822)	2-10 3/8 (873)	3-0 3/8 (924)	3-2 3/8 (975)	3-6 3/8 (1076)	3-10 3/8 (1178)
FS (mm)	1-9 3/8 (543)	2-1 3/8 (645)	2-5 3/8 (746)	2-7 3/8 (797)	2-9 3/8 (848)	2-11 3/8 (899)	3-1 3/8 (949)	3-5 3/8 (1051)	3-9 3/8 (1153)
DLO (mm)	1-2 15/16 (379)	1-6 15/16 (481)	1-10 15/16 (583)	2-0 15/16 (633)	2-2 15/16 (684)	2-4 15/16 (735)	2-6 15/16 (786)	2-10 15/16 (887)	3-2 15/16 (989)
2-10 9/16 (878) 2-9 1/2 (851) 2-9 (838) 0-1 15/16 (278)	 UWDH1612	 UWDH2012	 UWDH2412	 UWDH2612	 UWDH2812	 UWDH3012	 UWDH3212	 UWDH3612	 UWDH4012
3-2 9/16 (880) 3-1 1/2 (953) 3-1 (940) 1-0 15/16 (329)	 UWDH1614	 UWDH2014	 UWDH2414	 UWDH2614	 UWDH2814	 UWDH3014	 UWDH3214	 UWDH3614	 UWDH4014
3-6 9/16 (1081) 3-5 1/2 (1054) 3-5 (1041) 1-2 15/16 (379)	 UWDH1616	 UWDH2016	 UWDH2416	 UWDH2616	 UWDH2816	 UWDH3016	 UWDH3216	 UWDH3616	 UWDH4016
3-10 9/16 (1183) 3-9 1/2 (1156) 3-9 (1143) 1-4 15/16 (430)	 UWDH1618	 UWDH2018	 UWDH2418	 UWDH2618	 UWDH2818	 UWDH3018	 UWDH3218	 UWDH3618	 UWDH4018
4-2 9/16 (1284) 4-1 1/2 (1257) 4-1 (1245) 1-6 15/16 (481)	 UWDH1620	 UWDH2020	 UWDH2420	 UWDH2620	 UWDH2820	 UWDH3020	 UWDH3220	 UWDH3620	 UWDH4020
4-6 9/16 (1386) 4-5 1/2 (1359) 4-5 (1346) 1-8 15/16 (632)	 UWDH1622	 UWDH2022	 UWDH2422	 UWDH2622	 UWDH2822	 UWDH3022	 UWDH3222	 UWDH3622	 UWDH4022
4-10 9/16 (1488) 4-9 1/2 (1461) 4-9 (1448) 1-10 15/16 (583)	 UWDH1624	 UWDH2024	 UWDH2424	 UWDH2624	 UWDH2824	 UWDH3024	 UWDH3224	 UWDH3624	 UWDH4024
5-2 9/16 (1589) 5-1 1/2 (1562) 5-1 (1549) 2-0 15/16 (633)	 UWDH1626	 UWDH2026	 UWDH2426	 UWDH2626	 UWDH2826	 UWDH3026	 UWDH3226	 UWDH3626 E	 UWDH4026 E
5-6 9/16 (1691) 5-5 1/2 (1664) 5-5 (1651) 2-2 15/16 (684)	 UWDH1628	 UWDH2028	 UWDH2428	 UWDH2628	 UWDH2828	 UWDH3028 E	 UWDH3228 E	 UWDH3628 E	 UWDH4028 E

## MULTIPLE ASSEMBLY CONVERSIONS

ROUGH OPENING		MASONRY OPENING WITH BMC	
Width	Height	Width	Height
Add all frame sizes plus 1" (25)	Add frame sizes plus 1/2" (13)	Add all frame sizes plus 3 1/8" (79)	Add frame sizes plus 1 9/16" (39)

Details and Elevations not to scale.

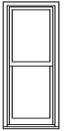
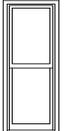
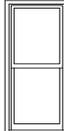
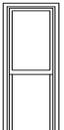
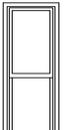
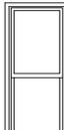
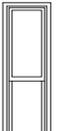
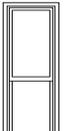
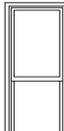
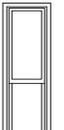
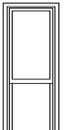
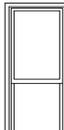
E These windows meet national Egress codes for fire evacuation. Local codes may differ.

\* For more Cottage Style sizes than the sample shown, please contact your Marvin representative. Ultimate Double Hung cottage call number formula is figured in fifths. Top sash is 2/5 and bottom is 3/5.

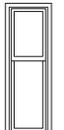
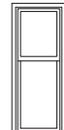
1. Standard call number; 2024
2. Add the two glass heights; 24" + 24" = 48"
3. Divide 48" by 2/5; 19-13/64"
4. Round to the nearest standard glass height; 20"
5. Subtract from total glass height; 48" - 20" = 28" The call number for the above example is: 2020/28. The top sash will be a 2020 and the bottom sash will be a 2028

Ultimate Wood Double Hung: UWDH

# WOOD DOUBLE HUNG

MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	2-10 1/2 (876)	3-0 1/2 (927)	3-2 1/2 (978)	3-4 1/2 (1029)	3-8 1/2 (1130)	4-0 1/2 (1232)
RO (mm)	1-10 3/8 (568)	2-2 3/8 (670)	2-6 3/8 (772)	2-8 3/8 (822)	2-10 3/8 (873)	3-0 3/8 (924)	3-2 3/8 (975)	3-6 3/8 (1076)	3-10 3/8 (1178)
FS (mm)	1-9 3/8 (543)	2-1 3/8 (645)	2-5 3/8 (746)	2-7 3/8 (797)	2-9 3/8 (848)	2-11 3/8 (899)	3-1 3/8 (949)	3-5 3/8 (1051)	3-9 3/8 (1153)
DLO (mm)	1-2 15/16 (379)	1-6 15/16 (481)	1-10 15/16 (583)	2-0 15/16 (633)	2-2 15/16 (684)	2-4 15/16 (735)	2-6 15/16 (786)	2-10 15/16 (887)	3-2 15/16 (989)
5-10 9/16 (1792) 5-9 1/2 (1765) 5-9 (1753) 2-4 15/16 (735)	 UWDH1630	 UWDH2030	 UWDH2430	 UWDH2630	 UWDH2830 E	 UWDH3030 E	 UWDH3230 E	 UWDH3630 E	 UWDH4030 E
6-2 9/16 (1894) 6-1 1/2 (1867) 6-1 (1854) 2-6 15/16 (786)	 UWDH1632	 UWDH2032	 UWDH2432	 UWDH2632 E	 UWDH2832 E	 UWDH3032 E	 UWDH3232 E	 UWDH3632 E	 UWDH4032 E
6-6 9/16 (1996) 6-5 1/2 (1969) 6-5 (1956) 2-8 15/16 (837)	 UWDH1634	 UWDH2034	 UWDH2434 E	 UWDH2634 E	 UWDH2834 E	 UWDH3034 E	 UWDH3234 E	 UWDH3634 E	 UWDH4034 E
6-10 9/16 (2097) 6-9 1/2 (2070) 6-9 (2057) 2-10 15/16 (887)	 UWDH1636	 UWDH2036	 UWDH2436 E	 UWDH2636 E	 UWDH2836 E	 UWDH3036 E	 UWDH3236 E	 UWDH3636 E	 UWDH4036 E
7-6 9/16 (2300) 7-5 1/2 (2273) 7-5 (2261) 3-2 15/16 (989)	 UWDH1640	 UWDH2040	 UWDH2440 E	 UWDH2640 E	 UWDH2840 E	 UWDH3040 E	 UWDH3240 E	 UWDH3640 E	 UWDH4040 E
7-10 9/16 (2402) 7-9 1/2 (2375) 7-9 (2362) 3-4 15/16 (1040)	 UWDH1642	 UWDH2042	 UWDH2442 E	 UWDH2642 E	 UWDH2842 E	 UWDH3042 E	 UWDH3242 E	 UWDH3642 E	 UWDH4042 E

## COTTAGE STYLE\*

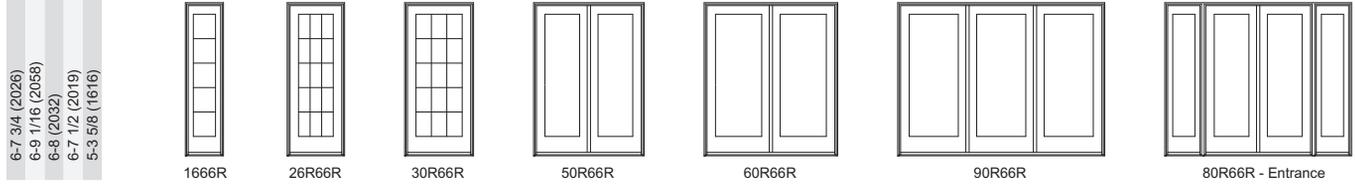
MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	2-10 1/2 (876)	3-0 1/2 (927)	3-2 1/2 (978)	3-4 1/2 (1029)	3-8 1/2 (1130)	4-0 1/2 (1232)
RO (mm)	1-10 3/8 (568)	2-2 3/8 (670)	2-6 3/8 (772)	2-8 3/8 (822)	2-10 3/8 (873)	3-0 3/8 (924)	3-2 3/8 (975)	3-6 3/8 (1076)	3-10 3/8 (1178)
FS (mm)	1-9 3/8 (543)	2-1 3/8 (645)	2-5 3/8 (746)	2-7 3/8 (797)	2-9 3/8 (848)	2-11 3/8 (899)	3-1 3/8 (949)	3-5 3/8 (1051)	3-9 3/8 (1153)
DLO (mm)	1-2 15/16 (379)	1-6 15/16 (481)	1-10 15/16 (583)	2-0 15/16 (633)	2-2 15/16 (684)	2-4 15/16 (735)	2-6 15/16 (786)	2-10 15/16 (887)	3-2 15/16 (989)
5-10 9/16 (1792) 5-9 1/2 (1765) 5-9 (1753) 1-10 15/16 (583) / 2-10 15/16 (887)	 UWDH1624/36	 UWDH2024/36	 UWDH2424/36	 UWDH2624/36	 UWDH2824/36	 UWDH3024/36	 UWDH3224/36	 UWDH3624/36	 UWDH4024/36

Please consult your local Marvin representative for more information.  
For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

# 1 3/4" INSWING / OUTSWING FRENCH DOOR

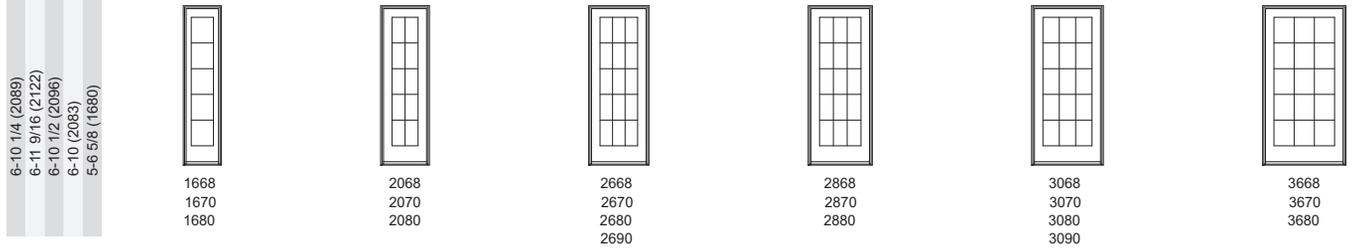
## 6-6R HEIGHT

<b>Clad MO (mm)</b>	1-8 11/32 (517)	2-7 1/8 (791)	3-1 1/8 (943)	4-11 1/2 (1511)	5-11 1/2 (1816)	8-9 7/8 (2689)	7-10 11/16 (2405)
<b>Wood MO (mm)</b>	1-10 31/32 (583)	2-9 3/4 (857)	3-3 3/4 (1010)	5-2 1/8 (1578)	6-2 1/8 (1883)	9-0 1/2 (2756)	8-1 5/16 (2472)
<b>RO (mm)</b>	1-8 27/32 (529)	2-7 5/8 (803)	3-1 5/8 (956)	5-0 (1524)	6-0 (1829)	8-10 3/8 (2702)	7-11 3/16 (2418)
<b>FS (mm)</b>	1-7 27/32 (504)	2-6 5/8 (778)	3-0 5/8 (930)	4-11 (1499)	5-11 (1803)	8-9 3/8 (2677)	7-10 3/16 (2392)
<b>DLO (mm)</b>	0-11 1/2 (292)	1-6 25/32 (477)	2-0 25/32(629)	1-6 25/32 (477)	2-0 25/32 (629)	2-0 25/32 (629)	0-1 1/2 (292) / 1-625/32 (477)



## 6-8 HEIGHT (7-0, 8-0 AND 9-0 HEIGHTS SEE BELOW)

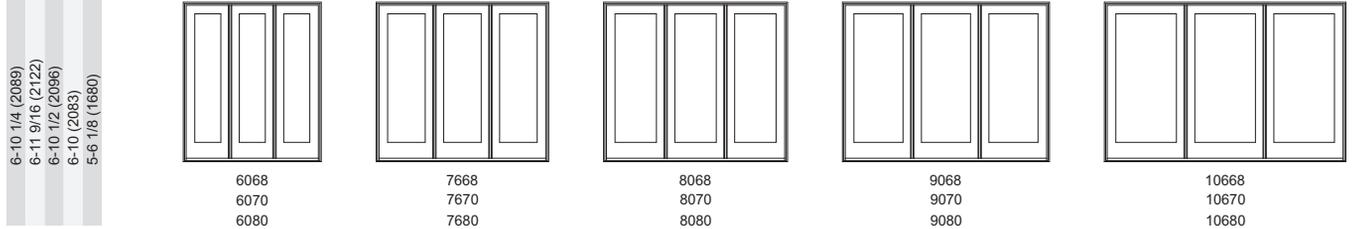
<b>Clad MO (mm)</b>	1-8 11/32 (517)	2-1 15/16 (659)	2-7 15/16 (811)	2-9 15/16 (862)	3-1 15/16 (946)	3-7 15/16 (1116)
<b>Wood MO (mm)</b>	1-10 31/32 (583)	2-4 9/16 (726)	2-10 9/16 (878)	3-0 9/16 (929)	3-4 9/16 (1030)	3-10 9/16 (1183)
<b>RO (mm)</b>	1-8 27/32 (529)	2-2 7/16 (672)	2-8 7/16 (824)	2-10 7/16 (875)	3-2 7/16 (976)	3-8 7/16 (1129)
<b>FS (mm)</b>	1-7 27/32 (504)	2-1 7/16 (646)	2-7 7/16 (799)	2-9 7/16 (849)	3-1 7/16 (951)	3-7 7/16 (1103)
<b>DLO (mm)</b>	0-11 1/2 (292)	11-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (548)	2-1 19/32 (650)	2-7 19/32 (802)



<b>Clad MO (mm)</b>	4-1 1/8 (1248)	4-11 1/2 (1511)	5-1 1/8 (1553)	5-5 1/8 (1654)	5-11 1/2 (1816)	6-1 1/8 (1857)	7-1 1/8 (2162)
<b>Wood MO (mm)</b>	4-3 3/4 (1314)	5-2 1/8 (1578)	5-3 3/4 (1619)	5-7 3/4 (1721)	6-2 1/8 (1883)	6-3 3/4 (1924)	7-3 3/4 (2229)
<b>RO (mm)</b>	4-1 5/8 (1260)	5-0 (1524)	5-1 5/8 (1565)	5-5 5/8 (1667)	6-0 (1829)	6-1 5/8 (1870)	7-1 5/8 (2175)
<b>FS (mm)</b>	4-0 5/8 (1235)	4-11 (1499)	5-0 5/8 (1540)	5-4 5/8 (1641)	5-11 (1803)	6-0 5/8 (1845)	7-0 5/8 (2149)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-6 25/32 (477)	1-7 19/32 (498)	1-9 19/32 (548)	2-0 25/32 (629)	2-1 19/32 (650)	2-7 19/32 (802)



<b>Clad MO (mm)</b>	6-0 5/16 (1837)	7-6 5/16 (2294)	8-0 5/16 (2446)	9-0 5/16 (2751)	10-6 5/16 (3208)
<b>Wood MO (mm)</b>	6-2 15/16 (1903)	7-8 15/16 (2361)	8-2 15/16 (2513)	9-2 15/16 (2818)	10-8 15/16 (3275)
<b>RO (mm)</b>	6-0 13/16 (1849)	7-6 13/16 (2307)	8-0 13/16 (2459)	9-0 13/16 (2764)	10-6 13/16 (3221)
<b>FS (mm)</b>	5-11 13/16 (1824)	7-5 13/16 (2281)	7-11 13/16 (2434)	8-11 13/16 (2738)	10-5 13/16 (3196)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (582)	2-1 19/32 (650)	2-7 19/32 (802)



### 7-0, 8-0 AND 9-0 HEIGHTS:

	7-0 Height	8-0 Height	9-0 Height
Clad MO (mm)	7-2 1/4 (2191)	7-11 3/4 (2432)	8-11 3/4 (2737)
Wood MO (mm)	7-3 9/16 (2224)	8-1 1/16 (2465)	N/A
RO (mm)	7-2 1/2 (2197)	8-0 (2438)	9-0 (2743)
FS (mm)	7-2 (2184)	7-11 1/2 (2426)	8-11 1/2 (2731)
DLO (mm)	5-10 1/8 (1781)	6-7 5/8 (2022)	7-7 5/8 (2327)

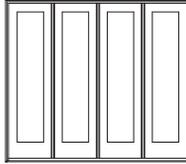
Ultimate Inswing French Door: UIFD  
 Ultimate Outswing French Door: UOFD  
 Ultimate Wood Inswing French Door: UWIFD  
 Ultimate Wood Outswing French Door: UWOFD

# 1 3/4" INSWING / OUTSWING FRENCH DOOR

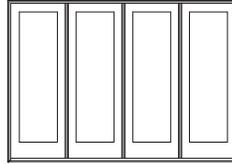
6-8 HEIGHT (7-0 AND 8-0 HEIGHTS SEE BELOW)

<b>Clad MO (mm)</b>	7-11 1/2 (2426)	9-11 1/2 (3035)	10-7 1/2 (3239)
<b>Wood MO (mm)</b>	8-2 1/8 (2492)	10-2 1/8 (3102)	10-10 1/8 (3305)
<b>RO (mm)</b>	8-0 (2438)	10-0 (3048)	10-8 (3251)
<b>FS (mm)</b>	7-11 (2413)	9-11 (3023)	10-7 (3226)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (548)

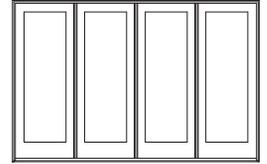
6-10 1/4 (2089)
6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
5-6 1/8 (1680)



8068  
8070  
8080



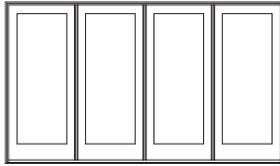
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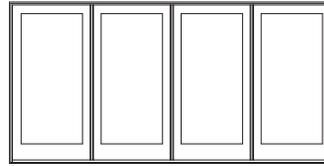
10868  
10870  
10880

<b>Clad MO (mm)</b>	11-11 1/2 (3645)	13-11 1/2 (4255)
<b>Wood MO (mm)</b>	12-2 1/8 (3712)	14-2 1/8 (4321)
<b>RO (mm)</b>	12-0 (3658)	14-0 (4267)
<b>FS (mm)</b>	11-11 (3632)	13-11 (4242)
<b>DLO (mm)</b>	2-1 19/32 (650)	2-7 19/32 (802)

6-10 1/4 (2089)
6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
6-7 7/16 (1713)



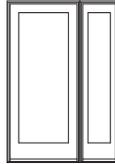
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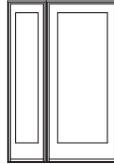
14068  
14070  
14080

<b>Clad MO (mm)</b>	4-7 9/16 (1411)	4-7 9/16 (1411)	6-1 1/8 (1857)	9-0 5/16 (2751)
<b>Wood MO (mm)</b>	4-10 3/16 (1478)	4-10 3/16 (1478)	6-3 3/4 (1924)	9-2 5/16 (2802)
<b>RO (mm)</b>	4-8 1/16 (1424)	4-8 1/16 (1424)	6-1 5/8 (1870)	9-0 13/16 (2764)
<b>FS (mm)</b>	4-7 1/16 (1399)	4-7 1/16 (1399)	6-0 5/8 (1845)	8-11 13/16 (2739)
<b>DLO (mm)</b>	2-1 19/32 (650) / 0-11 1/2 (292)	0-11 1/2 (292) / 2-1 19/32 (650)	2-1 19/32 (650) / 0-11 1/2 (292) / 2-1 19/32 (650)	0-11 1/2 (292) / 2-1 19/32 (650) / 0-11 1/2 (292)

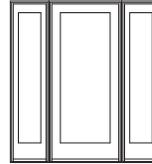
6-10 1/4 (2089)
6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
6-7 7/16 (1713)



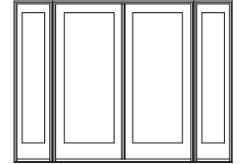
4668 XO - Entrance  
4670 XO - Entrance  
4680 XO - Entrance



4668 OX - Entrance  
4670 OX - Entrance  
4680 OX - Entrance



6268 - Entrance  
6270 - Entrance  
6280 - Entrance



9268 - Entrance  
9270 - Entrance  
9280 - Entrance

Details and Elevations not to scale.

R = Retro Size

- Lite patterns shown are for standard, SDL and ADL in 6-6, 6-8, and 7-0 heights The standard pattern for 8-0 heights is a 6 high lite cut. Standard lite cut for 9-0 height is a 7 high lite cut.
- All glass is tempered.
- Elevations as viewed from the exterior.
- CN 9-0 heights are limited to 1 and 2 wide configurations using CN2-6 and 3-0 panels.

Please consult your local Marvin representative for masonry openings that include casings and subsills.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

# Schultz Residence

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Annapolis, MD 21403

DRAWN	DATE
HPC SUBMISSION	10/06/2020

**REVISION SCHEDULE**

#	REVISION	DATE
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JOB NO: 19-039

DRAWN BY: MG, JC

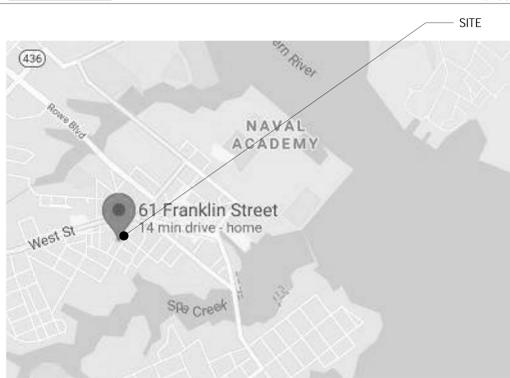
**COVER SHEET**

**CS**

**SHEET INDEX**

CS	COVER SHEET
D-100	DEMOLITION PLANS / ELEVATIONS
A-110	FIRST & SECOND FLOOR PLAN
A-120	THIRD FLOOR & ROOF PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS

**VICINITY MAP**





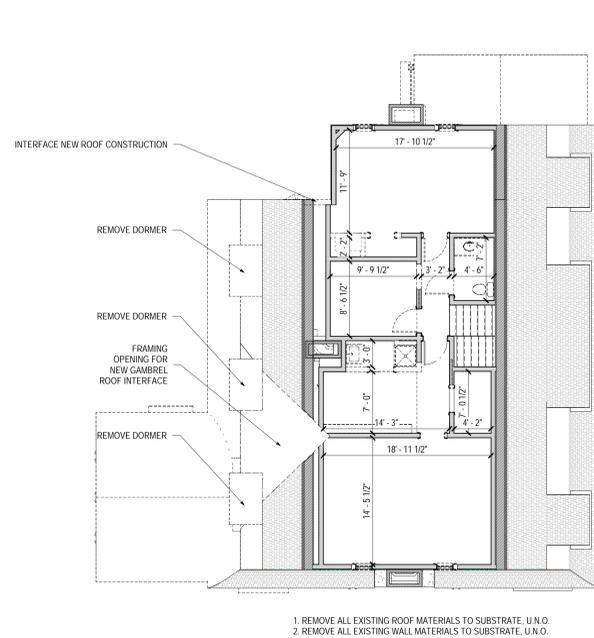
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 Annapolis, MD 21401  
 info@purplecherry.com  
 410.990.1700 Fx: 410.990.1704

**CIVIL ENGINEER**

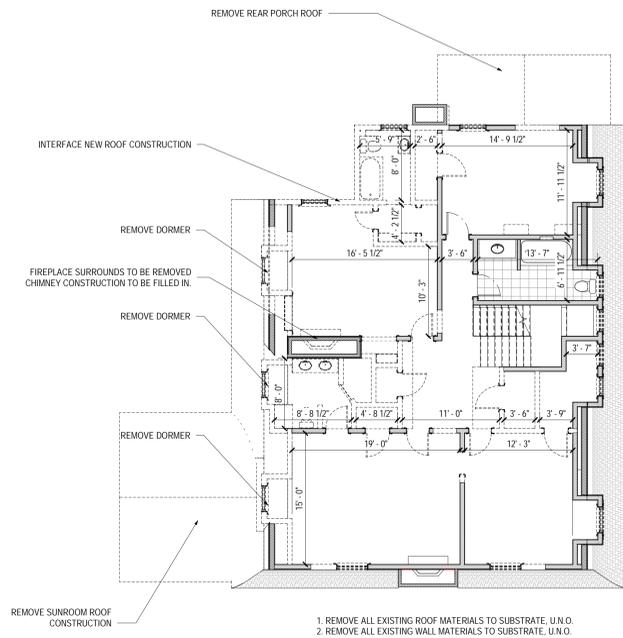
BAY ENGINEERING, INC.  
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 ANNAPOLIS, MD 21401  
 PHONE: 410.897.9290  
 FAX: 410.897.9295  
 EMAIL: info@bayengineering.com  
 www.bayengineering.com

**LANDSCAPE ARCHITECT**

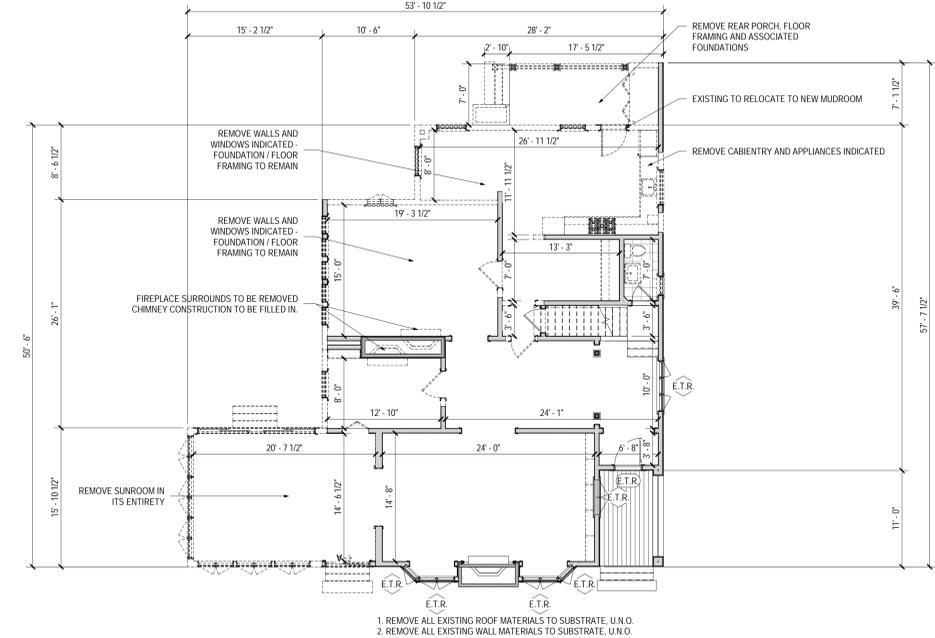
CAMPION HRUBY LANDSCAPE ARCHITECTS  
 36 SOUTH STREET  
 ANNAPOLIS, MD 21401  
 PHONE: 410.280.8850  
 www.campionhruby.com



3 ATTIC DEMOLITION PLAN  
 1/8" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN  
 1/8" = 1'-0"



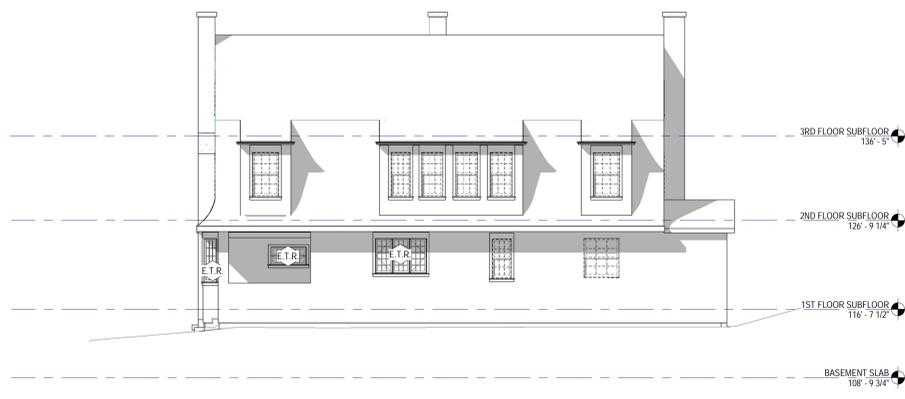
1 FIRST FLOOR DEMOLITION PLAN  
 1/8" = 1'-0"



5 WEST ELEVATION - DEMOLITION  
 1/8" = 1'-0"



4 SOUTH ELEVATION - DEMOLITION  
 1/8" = 1'-0"



7 EAST ELEVATION - DEMOLITION  
 1/8" = 1'-0"



6 NORTH ELEVATION - DEMOLITION  
 1/8" = 1'-0"

**DEMOLITION KEY**

EXISTING TO REMAIN

TO BE DEMOLISHED

EXISTING TO REMAIN

PROJECT NORTH

**GENERAL DEMOLITION NOTES**

- USE REPAIR AND PATCHING MATERIALS IDENTICAL TO EXISTING MATERIALS WHERE DEMOLITION ACTIVITY HAS OCCURRED. WHERE IDENTICAL MATERIALS ARE UNAVAILABLE, USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT DIRECTLY.
- CAREFULLY SURVEY THE CONDITION OF AREAS TO BE DEMOLISHED TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY DURING OR AFTER SELECTIVE DEMOLITION ACTIVITIES.
- CONSTRUCT AND MAINTAIN DUSTPROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DIRT AND DUST MIGRATION, PROTECTING EXISTING AIR-HANDLING EQUIPMENT INTENDED TO REMAIN.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ONTO ADJACENT SURFACES AND AREAS. REMOVE DEBRIS FROM ELEVATED PORTIONS OF THE BUILDING BY CHUTE, HOIST OR OTHER DEVICE THAT WILL CONTAIN AND CONVEY DEBRIS TO GRADE LEVEL.
- NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS INDICATED AND AS REQUIRED.
- PATCH AND REPAIR FLOOR, WALL AND CEILING SURFACES WHERE DEMOLISHED WALLS OR PARTITIONS EXTEND FROM ONE FINISHED AREA INTO ANOTHER. CLOSELY MATCH TEXTURE AND FINISH OF EXISTING ADJACENT SURFACES.
- TRANSPORT DEMOLISHED MATERIALS OFF OF OWNER'S PROPERTY AND DISPOSE IN A LEGAL MANNER.
- PROTECT ALL LAWN, LANDSCAPING AND DRIVEWAY MATERIALS FROM DAMAGE BY DEMOLITION OPERATIONS AND/OR DEBRIS REMOVAL.
- PROVIDE TEMPORARY SHORING TO ALL FLOORS PRIOR TO DEMOLITION/REMOVAL OF PORTIONS OF EXISTING LOAD-BEARING WALLS.
- WHERE EXISTING WOOD FLOORING IS SCHEDULED TO REMAIN, PROVIDE PROTECTION PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION ACTIVITY. COORDINATE WITH ARCH. FINISH SCHEDULE.
- PROTECT FINISH FLOOR COVERINGS AND OTHER INTERIOR FINISHES TO REMAIN FROM MARRING AND OTHER DAMAGE. MAINTAIN AND LEAVE PROTECTION IN PLACE UNTIL SURFACE PROTECTED IS NO LONGER SUBJECT TO DAMAGE BY CONSTRUCTION OPERATIONS.
- DEMOLISH EXISTING CONDITIONS USING LEAD-SAFE PRACTICES PER EPA REGULATION: EPA-HQ-OPPT-2005-0049
- ALL KITCHEN & BATH APPLIANCES, FIXTURES, PLUMBING, CABINETS, COUNTERTOPS IDENTIFIED TO BE REMOVED PER CODED NOTES ARE TO BE SALVAGED AND PROVIDED TO OWNER.
- WEATHERPROOF ALL PORTIONS OF BUILDING WHERE EXISTING ROOF IS TO BE REMOVED. MAINTAIN WEATHERPROOFING UNTIL NEW ROOFS AND STRUCTURE ARE IN PLACE AND ENCLOSED.

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JOB NO: 19-039  
 DRAWN BY: JC, MG

**DEMOLITION PLANS / ELEVATIONS**

**D-100**



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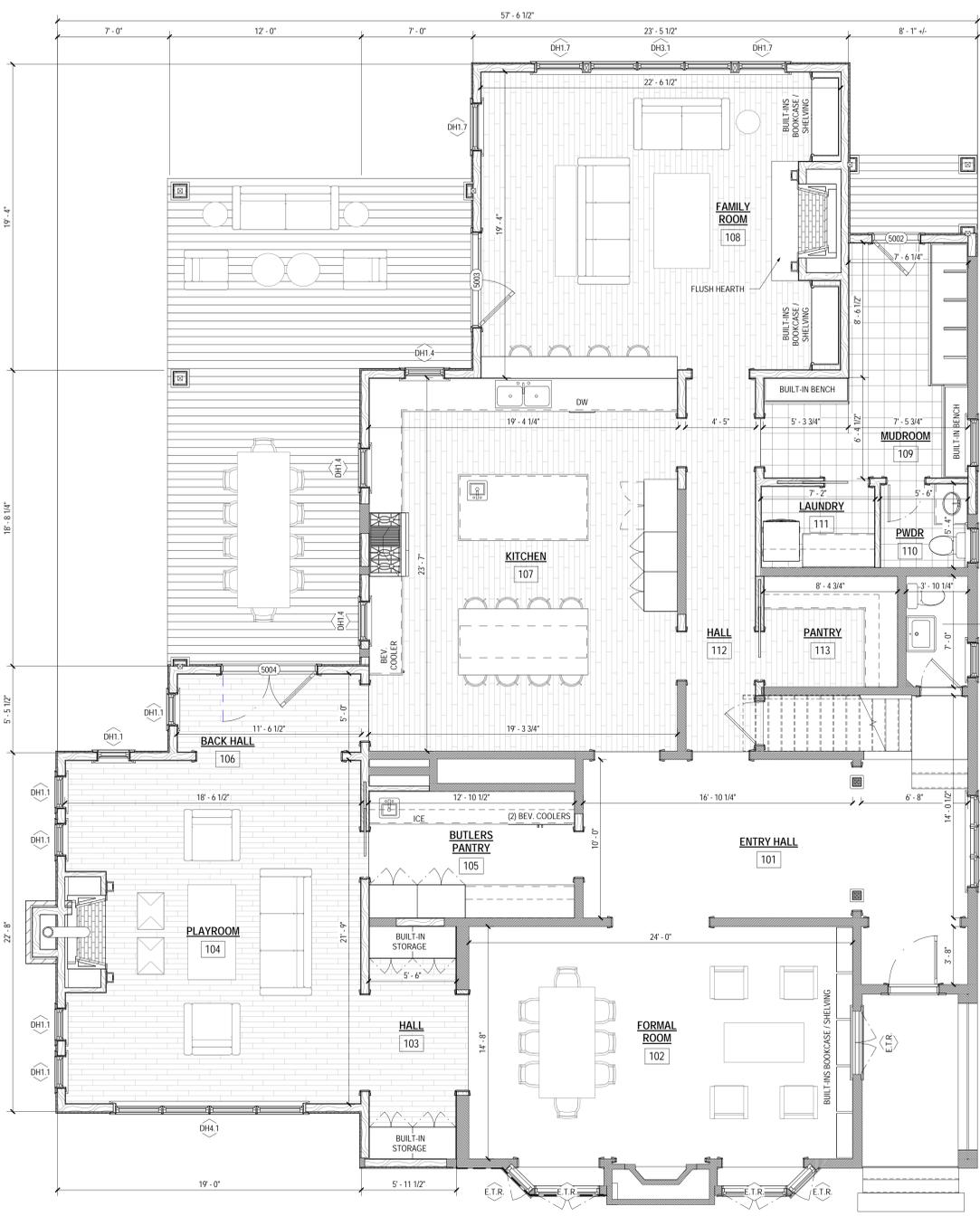
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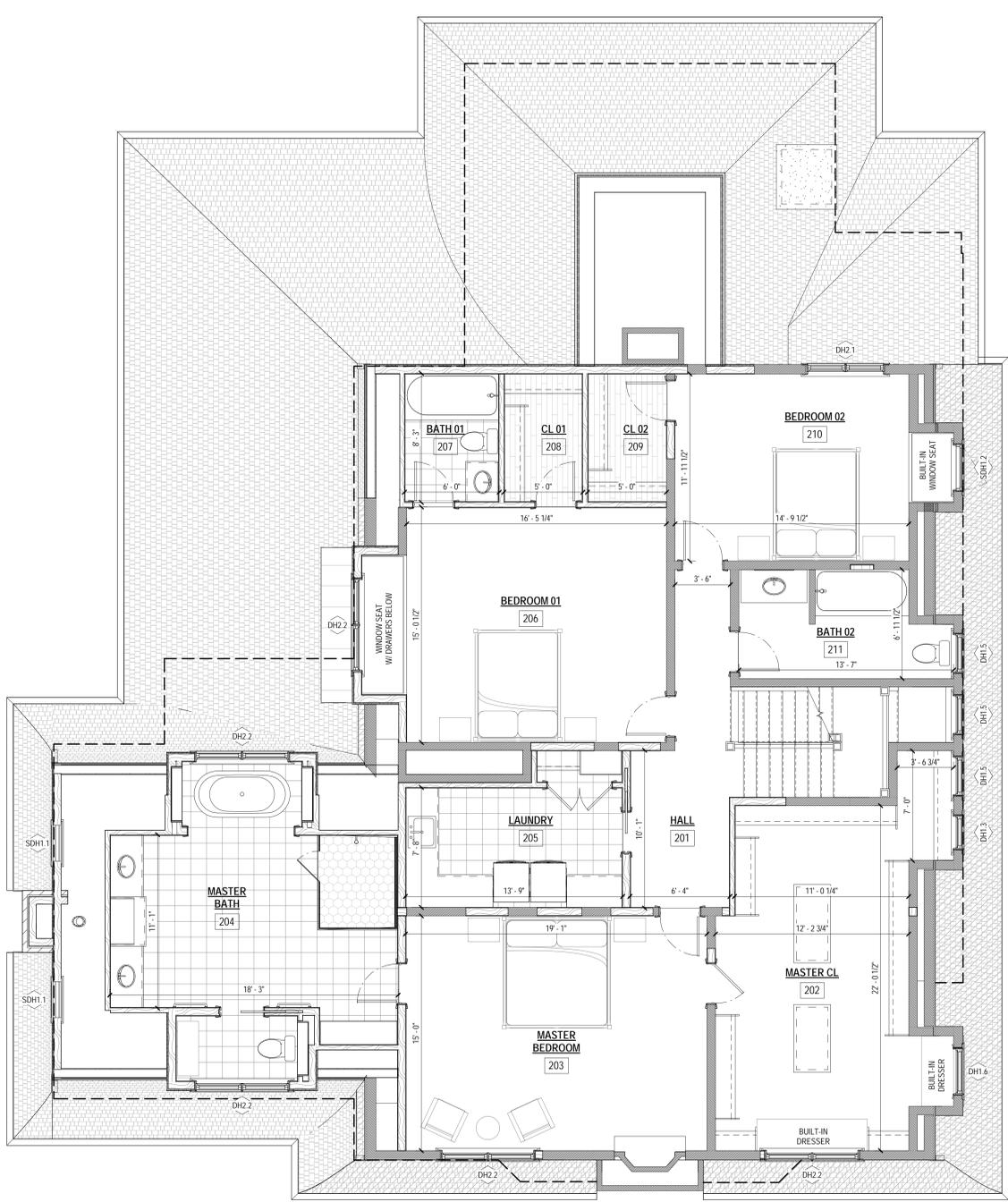
**FIRST & SECOND FLOOR PLAN**



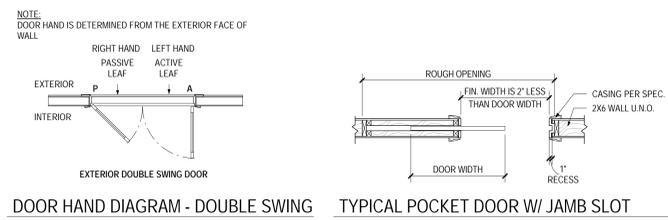
**A-110**



**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
1/4" = 1'-0"



GENERAL 2015 INTERNATIONAL RESIDENTIAL CODE NOTES			
<p><b>EGRESS WINDOWS:</b> ALL WINDOWS NOTED AS "EGRESS" ABOVE THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPEN AREA OF 5.7 SF. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM CLEAR OPEN AREA OF 5.0 SF. MINIMUM NET CLEAR OPENING DIMENSIONS OF ALL EGRESS WINDOWS SHALL BE 24 INCHES WIDE AND 20 INCHES HIGH.</p> <p><b>EGRESS WINDOW WELLS:</b> MINIMUM HORIZONTAL AREA SHALL BE 9 SF WITH A MINIMUM HORIZONTAL PROJECTION DIMENSION OF 36 INCHES. WINDOW WELLS DEEPER THAN 44 INCHES SHALL BE EQUIPPED WITH A PERMANENTLY FIXED LADDER OR STEPS PER 2015 IRC SECTION R310.2.3.</p> <p><b>GLAZING PROTECTION:</b> TEMPERED, OR OTHER SAFETY GLAZING, SHALL BE REQUIRED IN THE FOLLOWING LOCATIONS, AND AS REQUIRED BY THE 2015 IRC, SECTION R308.4: 1. GLAZING IN WINDOWS LOWER THAN 18 INCHES FROM THE FINISHED FLOOR PER SECTION R308.4.3. 2. GLAZING ADJACENT TO STAIRS, RAMPS WHEN GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE. 3. GLAZING IN WALLS ENCLOSING BATHUBS, SHOWERS, ETC., LESS THAN 60" ABOVE ANY WALKING SURFACE AND WITHIN 60" HORIZONTALLY OF THE WATER'S EDGE OF THE BATHUB, SHOWER, ETC. 4. GLAZING ADJACENT TO BOTTOM STAIR LANDING WHEN THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY FROM THE BOTTOM TREAD.</p>	<p><b>WINDOW FALL PROTECTION:</b> PROVIDE LIMITING HARDWARE COMPLYING WITH ASTM F2090 AT ANY OPERABLE WINDOW WHOSE SILL IS GREATER THAN 6 FEET ABOVE THE EXTERIOR WALKING SURFACE AND LESS THAN 2 FEET ABOVE THE ADJACENT FLOOR.</p> <p><b>GUARDS:</b> MINIMUM 36 INCH HIGH GUARDS COMPLYING WITH 2015 IRC R312.1.1 SHALL BE PROVIDED AT ALL WALKING SURFACES LOCATED 30 INCHES OR GREATER ABOVE ADJACENT GRADE AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE OF THE WALKING SURFACE.</p> <p><b>FOUNDATION WALLS:</b> PER 2015 IRC, SECTION R601.1.6, CONCRETE AND MASONRY WALLS SHALL EXTEND ABOVE THE FINISHED GRADE A MINIMUM OF 4 INCHES WHERE MASONRY VENEER IS USED, AND A MINIMUM OF 6 INCHES ELSEWHERE.</p> <p><b>WOOD FLOOR FIRE PROTECTION:</b> PER 2015 IRC, SECTION R302.13 THE UNDERSIDE OF ALL WOOD FLOOR ASSEMBLIES USING 2X8 OR SMALLER FLOOR JOISTS, OR ENGINEERED FLOOR JOISTS, SHALL BE PROTECTED ON THE UNDERSIDE WITH 1/2 INCH GYPSUM BOARD, OR 5/8 INCH WOOD STRUCTURAL PANELS, OR EQUIVALENT, EXCEPTIONS: SPRINKLERED SPACES, CRAWL SPACES NOT INTENDED FOR STORAGE OR FUEL FIRED APPLIANCES. THE UNPROTECTED PORTION SHALL NOT EXCEED 80 SF, AND FIRE BLOCKING SHALL BE INSTALLED PER 2015 IRC, SECTION R302.11.1.</p>	<p><b>SMOKE ALARMS AND CARBON DIOXIDE DETECTORS:</b> LOCATE IN THE FOLLOWING AREAS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS, HABITABLE ATTICS, BUT NOT CRAWL SPACES OR UNINHABITABLE ATTICS. 4. MUST BE INSTALLED AT LEAST 3 FEET AWAY FROM BATHROOM DOORS, AND AT LEAST 20 FEET AWAY FROM COOKING APPLIANCES, (10 FEET AWAY IF THE ALARM HAS AN ALARM SILENCING SWITCH.)</p>	<p><b>GENERAL PLAN NOTES</b></p> <ol style="list-style-type: none"> <li>ALL EXTERIOR FRAMED WALLS TO BE 2x6 STUDS U.N.O.</li> <li>ALL EXTERIOR FOUNDATION WALLS TO BE SIZED PER STRUCT.</li> <li>ALL INTERIOR FRAMED WALLS TO BE 2x4 STUDS U.N.O.</li> <li>ALL INTERIOR FRAMED WALLS W/ POCKET DOORS TO BE 2x6 STUDS U.N.O.</li> </ol>
<p><b>MINIMUM GLAZING REQUIREMENTS</b></p> <p>ALL GLAZING SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:</p> <p>WINDOWS: 0.30 U-FACTOR; 0.29 SHGC SLIDING DOORS: 0.30 U-FACTOR; 0.32 SHGC SWINGING DOORS: 0.31 U-FACTOR; 0.24 SHGC</p> <p><b>NOTE:</b> ALL EXTERIOR DOOR AND WINDOW MODEL NUMBERS SHOWN REFER TO WINDOW AND DOOR MFR. U.N.O.</p>	<p><b>SECOND FLOOR SQUARE FOOTAGE:</b></p> <p>ENCLOSED FLOOR AREA: 1545 SF RENOVATION AREA: 494 SF TOTAL ENCLOSED FLOOR AREA: 1,961 SF</p> <p>OPEN DECKS &amp; PORCHES: NONE</p> <p>COVERED DECKS &amp; PORCHES: NONE</p>	<p><b>FIRST FLOOR SQUARE FOOTAGE:</b></p> <p>ENCLOSED FLOOR AREA (GROSS): 1,727 SF RENOVATION AREA: 1,192 SF TOTAL ENCLOSED FLOOR AREA: 2,919 SF</p> <p>COVERED DECKS &amp; PORCHES: NEW COVERED DECKS / PORCHES: 498 SF EXIST. FRONT ENTRY PORCH: 81 SF TOTAL COVERED DECKS &amp; PORCHES: 579 SF</p>	

10/06/2020 11:07:53 AM



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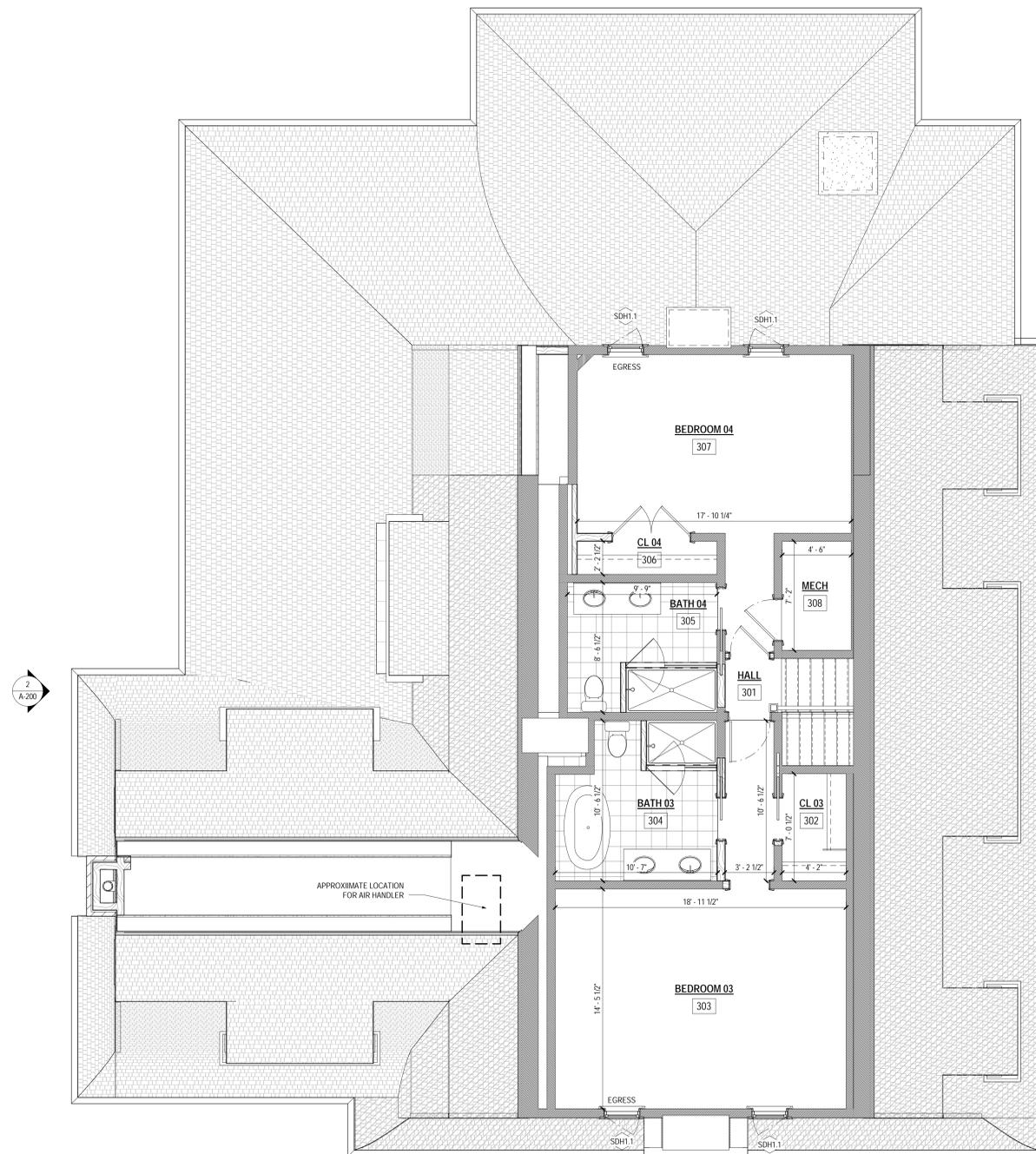
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**THIRD FLOOR & ROOF PLAN**



2 ROOF PLAN  
1/4" = 1'-0"

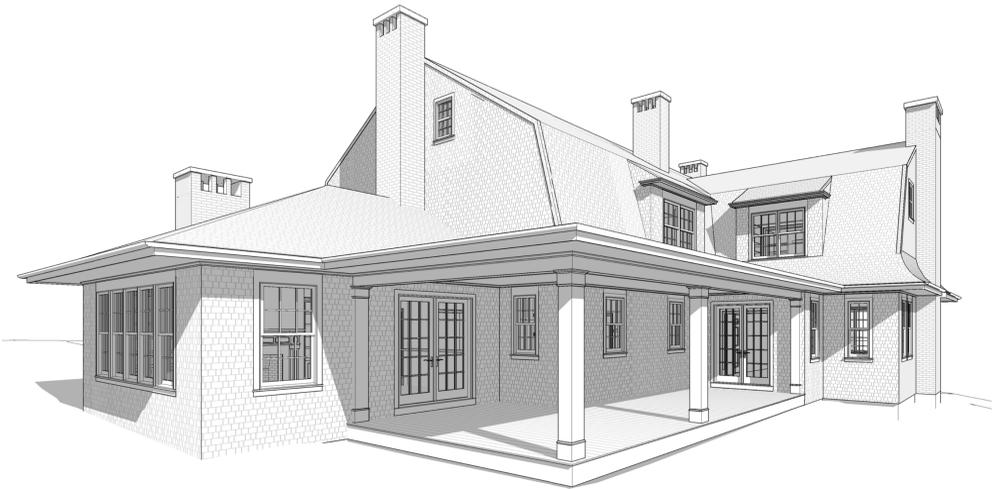


1 3RD FLOOR PLAN  
1/4" = 1'-0"

ROOF NOTES:	THIRD FLOOR SQUARE FOOTAGE:	GENERAL PLAN NOTES	MINIMUM GLAZING REQUIREMENTS
1. REQUIRED DOWNSPOUT SIZES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR BASED ON AREAS OF ROOF TO BE DRAWN.	ENCLOSED FLOOR AREA: 533 SF TOTAL ENCLOSED FLOOR AREA: 537 SF	1. ALL EXTERIOR FRAMED WALLS TO BE 2x6 STUDS U.N.O. 2. ALL EXTERIOR FOUNDATION WALLS TO BE PER STRUCT. 3. ALL INTERIOR FRAMED WALLS TO BE 2x4 STUDS U.N.O. 4. ALL INTERIOR FRAMED WALLS W/ POCKET DOORS TO BE 2x6 STUDS U.N.O.	ALL GLAZING SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: WINDOWS: 0.30 U-FACTOR; 0.29 SHGC SLIDING DOORS: 0.30 U-FACTOR; 0.32 SHGC SWINGING DOORS: 0.31 U-FACTOR; 0.24 SHGC  NOTE: ALL EXTERIOR DOOR AND WINDOW MODEL NUMBERS SHOWN REFER TO (WINDOW AND DOOR MFR.) U.N.O.
	OPEN DECKS & PORCHES: NONE		
	COVERED DECKS & PORCHES: NONE		



ELEVATION SW

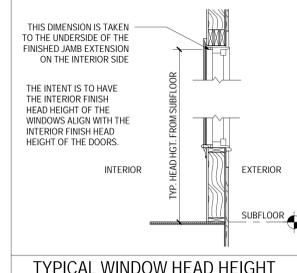


ELEVATION NW

PRELIMINARY EXTERIOR DOOR SCHEDULE					
DOOR NUMBER	OPERATION	FRAME SIZE		THICKNESS	COMMENTS
		WIDTH	HEIGHT		
5002	FRENCH INSWING	3'-0"	7'-0"	2 1/4"	ENTRY DOOR - UPSTATE OR EQUIVALENT
5003	FRENCH RA LP	6'-0"	7'-10 1/2"	2 1/4"	
5004	FRENCH LARP	6'-0"	7'-10 1/2"	2 1/4"	
E.T.R.	FRENCH INSWING	3'-2"	7'-0"	1 3/4"	

PRELIMINARY PRICING WINDOW SCHEDULE				
MARK	OPERATION	UNIT SIZE		COMMENTS
		WIDTH	HEIGHT	
DH1.1	DOUBLE HUNG	2'-0"	5'-6"	
DH1.2	DOUBLE HUNG	2'-2"	4'-8 1/2"	
DH1.3	DOUBLE HUNG	2'-2"	5'-0 1/2"	
DH1.4	DOUBLE HUNG	2'-5 1/2"	4'-8 1/2"	
DH1.5	DOUBLE HUNG	2'-6"	5'-0 1/2"	
DH1.6	DOUBLE HUNG	2'-11 1/2"	5'-0 1/2"	
DH1.7	DOUBLE HUNG	2'-11 1/2"	6'-0 1/2"	
DH2.1	DOUBLE HUNG-2	4'-10 3/4"	4'-0 1/2"	
DH2.2	DOUBLE HUNG-2	5'-10 3/4"	5'-0 1/2"	
DH3.1	DOUBLE HUNG-3	8'-10 1/8"	4'-0 1/2"	
DH4.1	DOUBLE HUNG-4	11'-9 1/2"	6'-0 1/2"	
SDH1.1	CASEMENT	2'-3 1/2"	3'-5 1/2"	
SDH1.2	CASEMENT	2'-11 1/2"	4'-11 1/2"	

SIZES ARE PRELIMINARY. CONTRACTOR TO PRICE STANDARD SIZING



TYPICAL WINDOW HEAD HEIGHT



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1 SOUTH ELEVATION  
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2 WEST ELEVATION  
 1/4" = 1'-0"

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ELEVATIONS

A-200

**ACTUAL ELEVATION HEIGHTS:**

ACTUAL FIRST FLOOR ELEVATION ABOVE SEA LEVEL: 0'-0"  
 ACTUAL AVERAGE GRADE PLANE ABOVE SEA LEVEL: 0'-0"

ELEVATION CALLOUTS SHOWN ARE RELATIVE TO FIRST FLOOR ELEVATION AND DO NOT REFLECT ACTUAL ELEVATIONS ABOVE SEA LEVEL. SEE CIVIL SITE PLAN FOR ACTUAL ELEVATIONS ABOVE SEA LEVEL.



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ELEVATION NE



1 NORTH ELEVATION  
 1/4" = 1'-0"



ELEVATION SE



2 EAST ELEVATION  
 1/4" = 1'-0"

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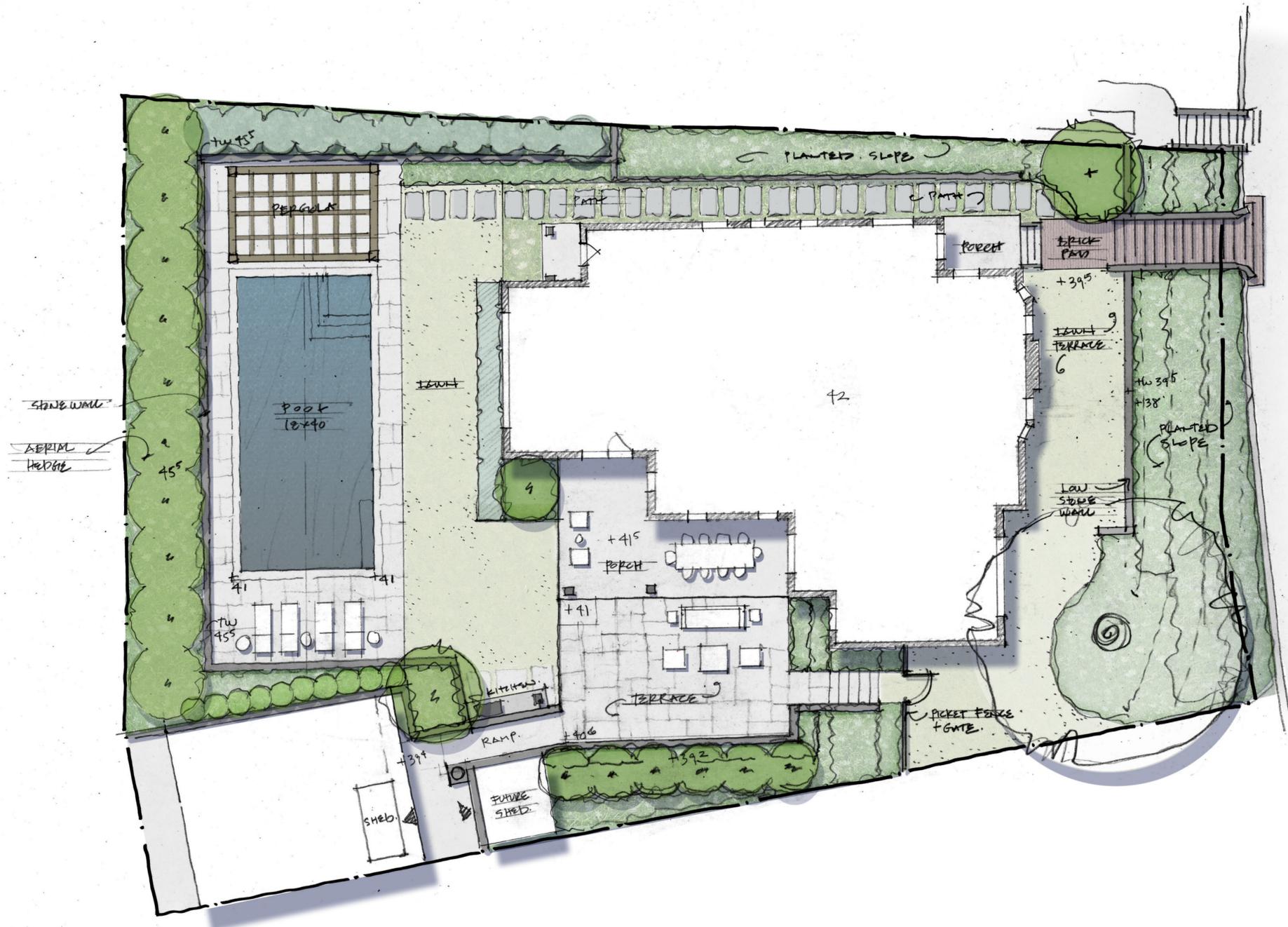
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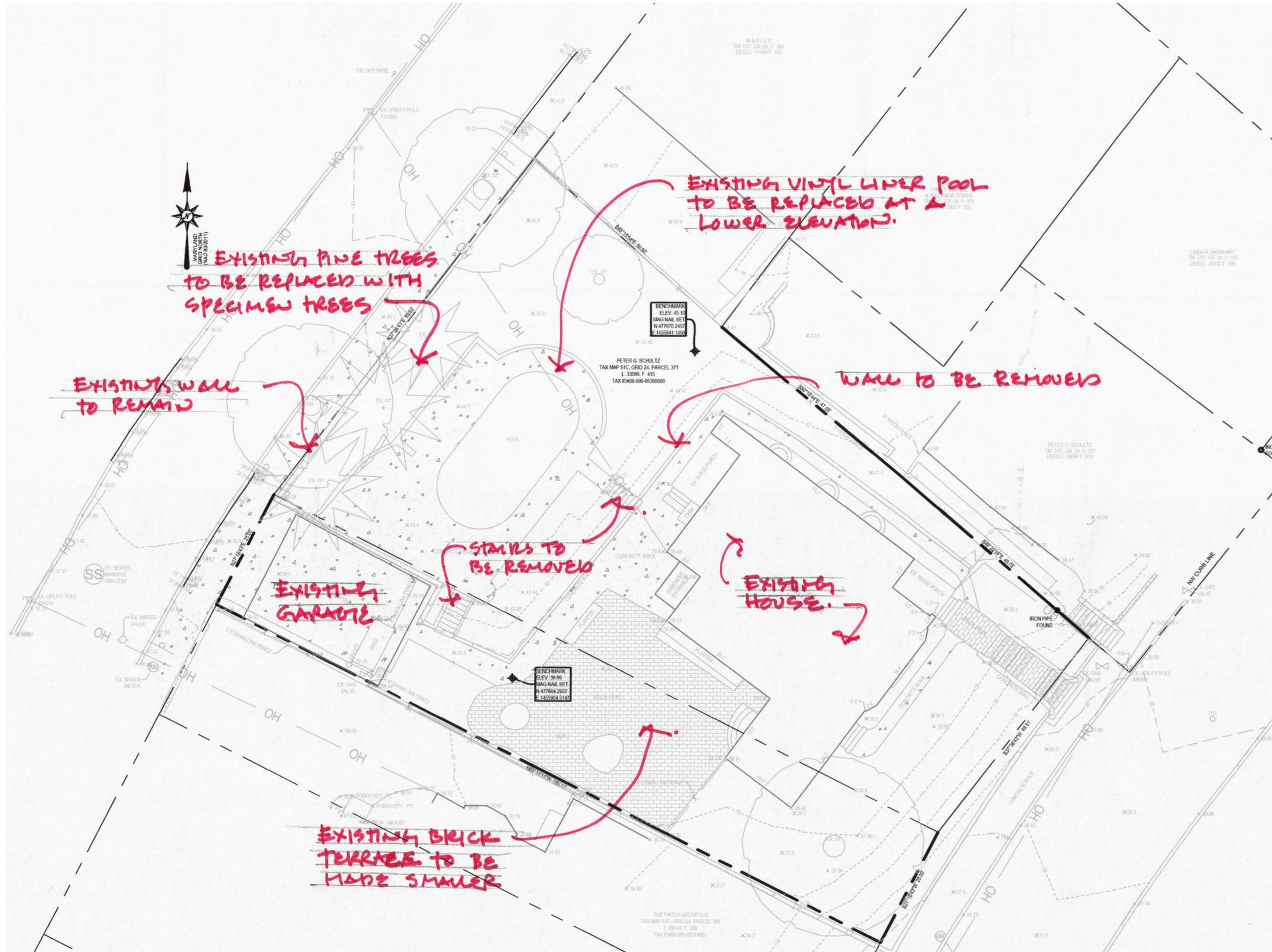
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ELEVATIONS

A-201





### EXISTING LOT COVERAGE SUMMARY

DESCRIPTION	AREA
EXISTING LOT AREA	13,673 SQ. FT. OR 0.314 ACRES
EXISTING LOT COVERAGE	7,787 SQ. FT. OR 0.179 ACRES
EXISTING TREE COVER	1,585 SQ. FT. OR 0.036 ACRES

NOTE: BREAKDOWN OF EXISTING LOT COVERAGE IS AS FOLLOWS :

- EX HOUSE/PORCHES/CHIMNEY/BILCO = 2,407 SQ. FT. ±
- EX DRIVE = 129 SQ. FT.
- EX CARPORT = 705 SQ. FT.
- EX CONC. WALKS = 854 SQ. FT.
- EX BRICK WALK = 64 SQ. FT.
- EX BRICK PATIO = 1,373 SQ. FT.
- EX POOL = 550 SQ. FT.
- EX POOL DECKING = 1,122 SQ. FT.
- EX STEPS = 114 SQ. FT.
- EX BRICK STEPS TO STREET = 85 SQ. FT.
- EX CURVED BRICK STEPS = 29 SQ. FT.
- EX WALLS = 355 SQ. FT.

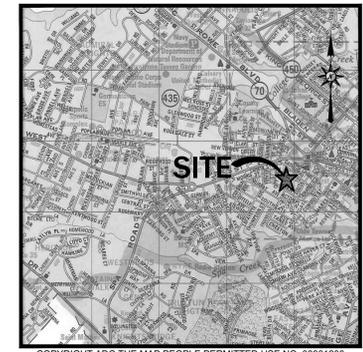
TOTAL = 7,787 SQ. FT. ±

### PROPOSED LOT COVERAGE SUMMARY

DESCRIPTION	AREA
EXISTING LOT AREA	13,673 SQ. FT. OR 0.314 ACRES
PROPOSED LOT COVERAGE	7,452 SQ. FT. OR 0.171 ACRES
EXISTING TREE COVER	1,585 SQ. FT. OR 0.036 ACRES

NOTE: BREAKDOWN OF EXISTING & PROPOSED LOT COVERAGE IS AS FOLLOWS :

- EX HOUSE/PORCHES/CHIMNEY/BILCO = 2,407 SQ. FT. ±
- PROPOSED BUILDING ADDITION = 1,247 SQ. FT. ±
- PROPOSED TERRACE = 610 SQ. FT. ±
- PROPOSED WALKS = 308 SQ. FT. ±
- PROPOSED POOL = 1,788 SQ. FT. ±
- EX WALKS = 1,112 SQ. FT. ±
- TOTAL = 7,452 SQ. FT. ±



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VICINITY MAP  
1"= 2000'

### LEGEND

BUILDING ADDITION



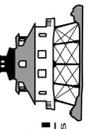
EXISTING CONDITIONS SITE PLAN  
SCALE: 1"=20'



PROPOSED CONDITIONS SITE PLAN  
SCALE: 1"=20'

Rev. #	By	Date	Description

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Date: MAY 2020  
Job Number: 20-7598  
Scale:  
Drawn By: MG  
Approved By: M. GILLESPIE  
Folder Reference: 61 FRANKLIN CITY OF ANNAPOLIS

GRADING PLAN  
FOR THE  
**SCHULTZ PROPERTY**  
61 FRANKLIN STREET ANNAPOLIS, MD 21401  
TAX MAP 51C - GRID 24 - PARCEL 371  
DEED REFERENCE: 33066 / 415  
T.A. #06-000-05369000 - ZONED: C2P  
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