



City of Annapolis
 Department of Planning and Zoning
 Historic Preservation Division
 145 Gorman Street, 3rd Floor
 Annapolis, MD 21401-2535

FOR CITY USE ONLY	
AGENDA #	_____
PROJECT #	_____
MEETING DATE	_____

HistPres@annapolis.gov • 410-260-2200 • Fax 410-263-1129 • TDD use MD Relay or 711 • www.annapolis.gov

HPC Public Hearing Application for Certificate of Approval

Authority

State of Maryland Land Use Code, Division I, Title 8 Historic Preservation
 City of Annapolis Historic District Zoning Ordinance 21.56
 Secretary of the Interior's Standards for Rehabilitation
 Building in the Fourth Century: Annapolis Historic District Design Manual

Commercial Residential

Building site address 215 King George Street, Annapolis, Maryland 21401

Provide complete information below. Mailing addresses and telephone numbers are *required*.

Property Owner Information		Contractor's Information	
Name	<u>Poligus Family LLC</u>	Name	<u>Winchester Construction Company, Rob Noble</u>
Address	<u>9 Federal Street</u>	Address	<u>1114 Benfield Boulevard</u>
City	<u>Easton</u> State <u>MD</u> Zip <u>21601-1608</u>	City	<u>Millersville</u> State <u>MD</u> Zip <u>21108</u>
Day phone	<u>1.410.770.9500</u> Cell _____	Day phone	<u>443.433.6894</u> Cell _____
E-mail	_____	E-mail	<u>rob@winchesterinc.com</u>

Authorizing Applicant Information		Architect/Engineer Information	
Name	<u>Gregory Wiedemann, AIA</u>	Name	<u>Gregory Wiedemann, AIA</u>
Address	<u>5272 River Road Suite 610</u>	Address	<u>5272 River Road Suite 610</u>
City	<u>Bethesda</u> State <u>MD</u> Zip <u>20816</u>	City	<u>Bethesda</u> State <u>MD</u> Zip <u>20816</u>
Day phone	<u>301.652.4022</u> Cell <u>301.768.2356</u>	Day phone	<u>301.652.4022</u> Cell <u>301.768.2356</u>
E-mail	<u>gregwiedemann@wiedemannarchitects.com</u>	E-mail	<u>gregwiedemann@wiedemannarchitects.com</u>

Tax Credit

Will you be applying for the City's Historic Preservation Tax Credit? Yes No

The tax credit is limited to those expenses having to do with the exterior features and limited interior life safety alterations of a contributing historic structure. The total estimate of expenses per application must exceed \$5,000. Applications must be submitted prior to start of work. Please refer to the Annapolis City Code [Section 6.04.230](#) – Historic Preservation Tax Credit.

Easement

Are there any easements or deed restrictions for the exterior of this building or the site? Yes No

If yes, submit a letter from the easement holder stating their approval of the proposed work.

Description of Work Proposed - Please be specific and include as much information as possible in the box below.
Attach an extra sheet if more space is needed.

The scope of work being proposed involves the provision of an additional basement egress window within an existing window location and an additional foundation wall areaway on the east (side) facade of the residence.

This proposed work shall match the adjacent window and the areaway on the east (side) facade which was approved by the Historic Preservation Commission and granted a Building Permit from the City of Annapolis Department of Planning and Zoning and which is currently under construction.

The proposed window shall be a painted fir Marvin egress casement window with 5/8" simulated divided lites (similar to the historic windows). The proposed areaway shall be painted brick masonry foundation walls with brick to shall match the existing residence.

Project Cost and Fees

Estimated cost of the improvement \$ 8,500.00

Filing Fee

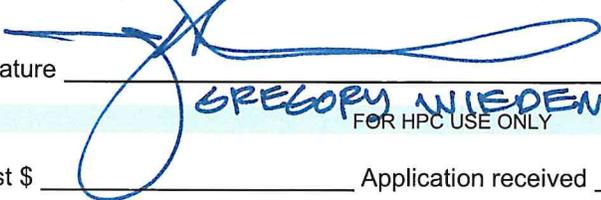
- Public Hearing Application based on 1% of estimated cost. Minimum \$35.00 – Maximum \$1,000.00
- "After the Fact" Public Hearing Application based on 1% of estimated cost. Minimum \$50.00 - Maximum \$2,000.00

Make check payable to *City of Annapolis*.

Signature of owner or authorized agent

The applicant certifies & agrees as follows: (1) that they are authorized by the property owner to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically approved by the Historic Preservation Commission; (5) that they are authorized by the property owner to grant City officials the right to enter onto the property for the purpose of inspecting the work permitted.

A Notice of Public Hearing sign will be made available to the applicant. By signing this application, the applicant acknowledges that it is their responsibility to post the sign 15 days before the hearing.

Owner/Applicant signature  Date 26 JUN 2020
GREGORY NIEDEMANN, AIA
FOR HPC USE ONLY

Rate x Estimated Cost \$ _____ Application received _____

Date paid _____ Amendment to COA # _____

HPC Approval _____ Date _____



City of Annapolis
 Department of Planning and Zoning
 145 Gorman Street Fl 3
 Annapolis, MD 21401-2529

Permitting@annapolis.gov • 410-260-2200 • Fax 410-263-9158 • TDD use MD Relay or 711 • www.annapolis.gov

Revision/Supplemental Information Form

This form must accompany all submittals of revised plans, revised applications and/or additional information.

You are required to submit:

- Five copies (six if commercial) of the revised plans.
- Ten copies of the revised plans in conjunction with a Site Design Plan Review, including when it is submitted with a Special Exception, Subdivision, Planned Development Application, or HPC Application

Job location address 215 King George Street, Annapolis MD 21401

Submitted by Greg Wiedemann, Wiedemann Architects LLC

Phone 301-652-4022 E-mail address gregwiedemann@wiedemannarchitects.co Date August 26, 2020

Project number _____

Attached Submittal: (please check one)

Permit # BLD20-0072

- Revisions to a permit/project currently being processed
- Revisions to a permit already issued
- Additional plans or information for application currently being processed
- Modified Application (any changes from original application)

Describe changes from original submission. Unless all pages have been revised, include page numbers containing revisions. Drawing changes should be "bubbled," highlighted or indicated in some way.

The addition of an egress window & egress areaway. Drawings: C1.0, D1.0, D2.2, A1.0, A2.2, A2.3, S1.0.

If there are no exterior changes on plans previously approved by HPC, please check.

Total cost of changes submitted under this revision \$8,500.00

Revisions requested by applicant _____

Revisions requested by City/Department/Employee (Name) _____

Fees

Submittal of revised plans will incur a fee per City Code [Section 17.12.052](#) and current FY Fee Schedule linked below.

Permitting Fee Schedule - At option of Director, fee to submit revised construction drawings and submittals for outside review is \$100 plus an hourly fee. (Amounts are chargeable in quarter hour increments.)

Submittal of revised project plans will incur a fee per City Code [Section 21.22 or 21.24](#) and current FY Fee Schedule linked below.

Project Fee Schedule

Signature  Date 26 AUG 2020
GREGORY WIEDEMANN, RIA



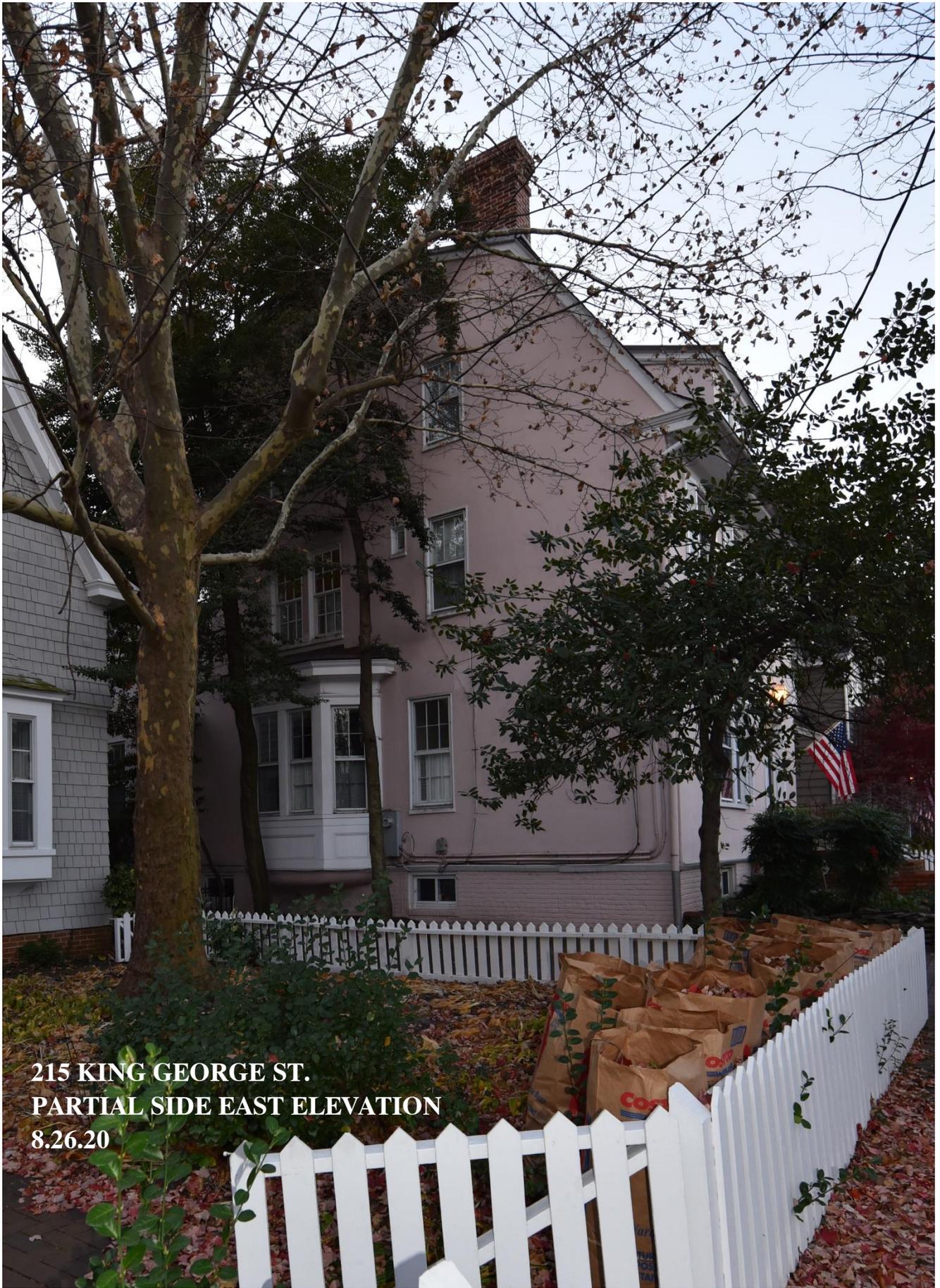
215 KING GEORGE ST.
FRONT NORTH ELEVATION
8.26.20



**215 KING GEORGE ST.
FRONT NORTH ELEVATION
8.26.20**



**215 KING GEORGE ST.
PARTIAL FRONT NORTH ELEVATION
AT DRIVEWAY
8.26.20**



**215 KING GEORGE ST.
PARTIAL SIDE EAST ELEVATION
8.26.20**



215 KING GEORGE ST.
PARTIAL SIDE EAST ELEVATION
8.26.20



**215 KING GEORGE ST.
PARTIAL EAST ELEVATION & DRIVEWAY
LOOKING SOUTH
8.26.20**



**215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT
AREAWAY LOOKING SOUTH
8.26.20**



215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT AREAWAY
& WINDOW OF PROPOSED AREAWAY
8.26.20



**215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT AREAWAY
& WINDOW OF PROPOSED AREAWAY
8.26.20**



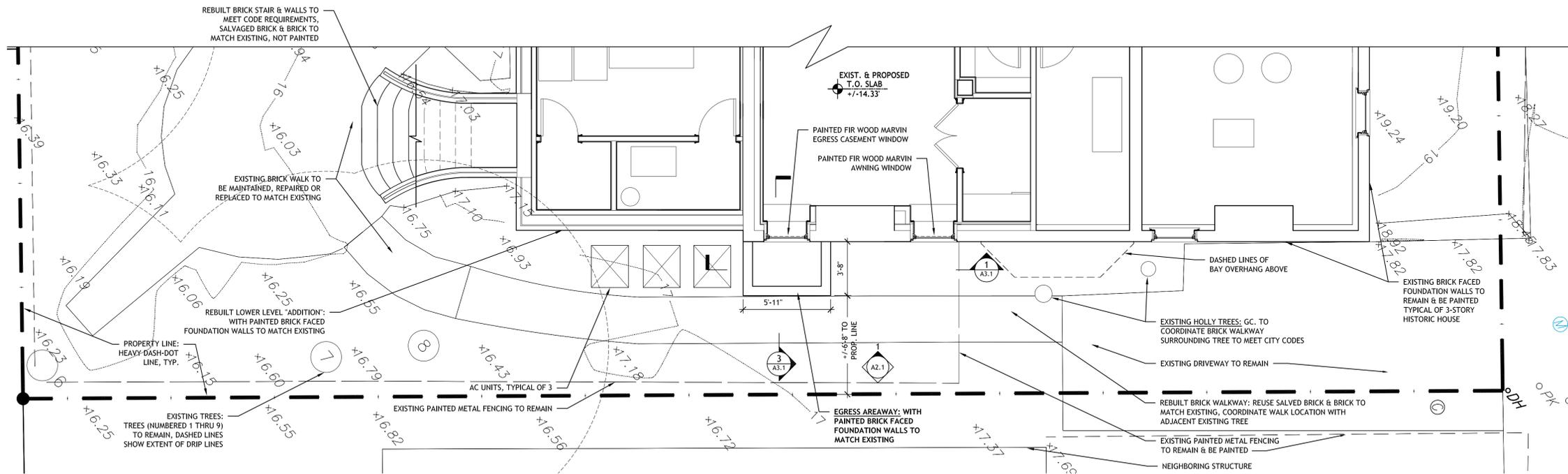
**215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT AREAWAY
& WINDOW OF PROPOSED AREAWAY
8.26.20**



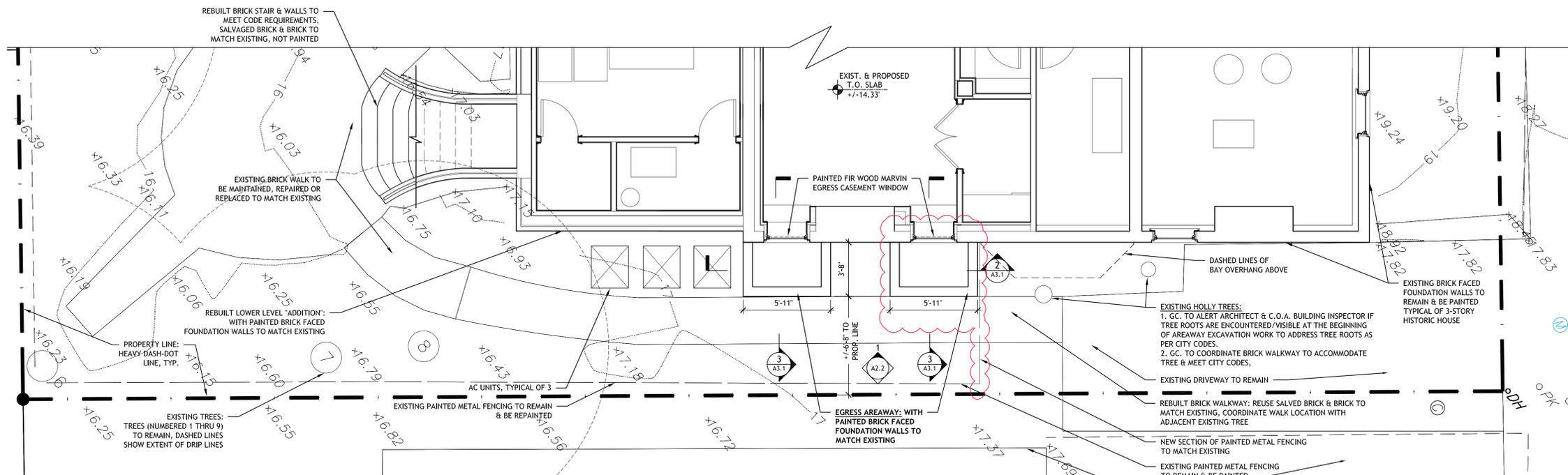
215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT
AREAWAY LOOKING NORTH
8.26.20



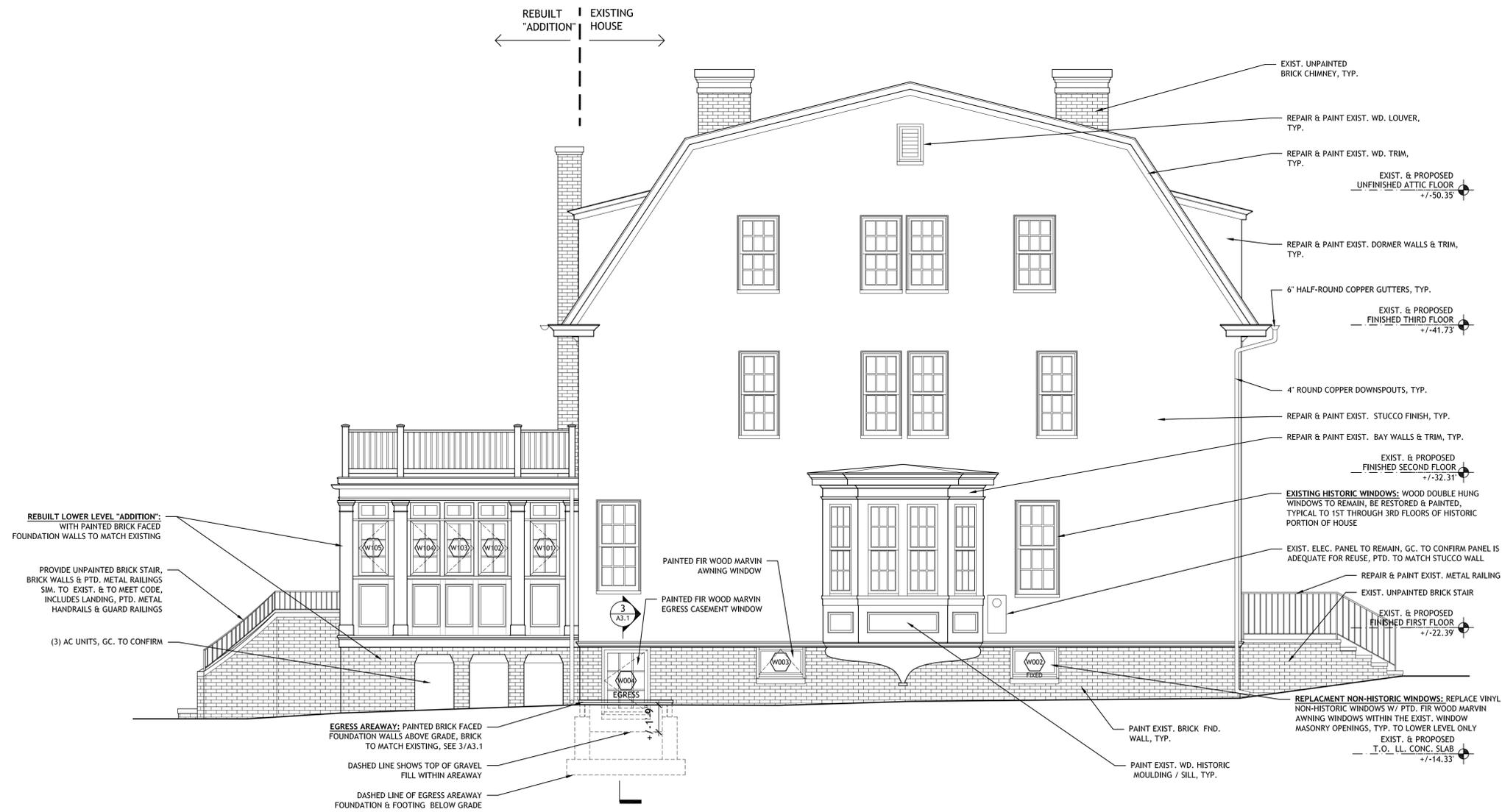
**215 KING GEORGE ST.
PARTIAL EAST ELEVATION AT
AREAWAY LOOKING NORTH
8.26.20**



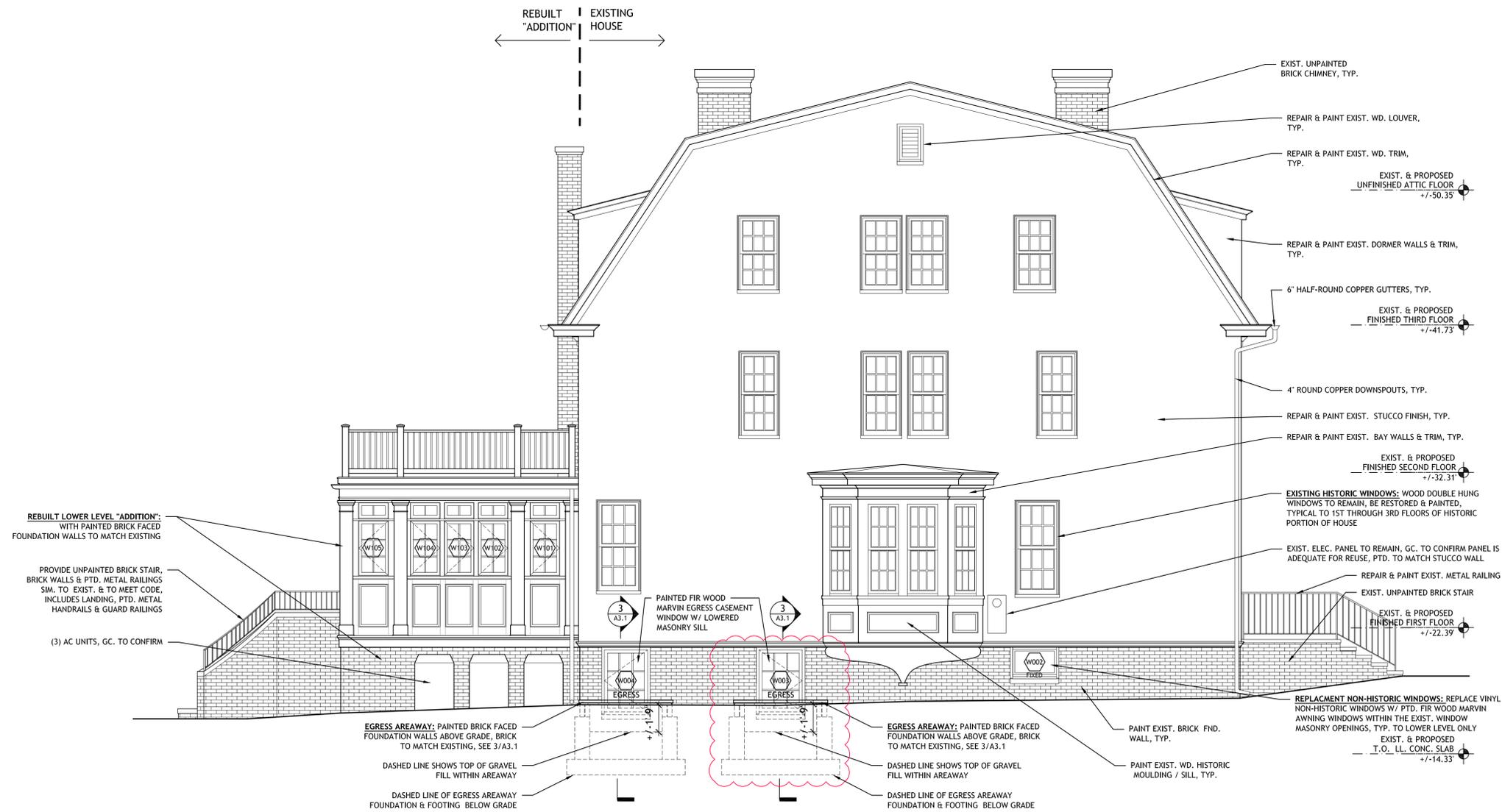
1
A1.1 HPC APPROVED PARTIAL ARCHITECTURAL SITE PLAN
WITH LOWER LEVEL FLOOR PLAN SHOWING ONE EGRESS AREAWAY
SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH



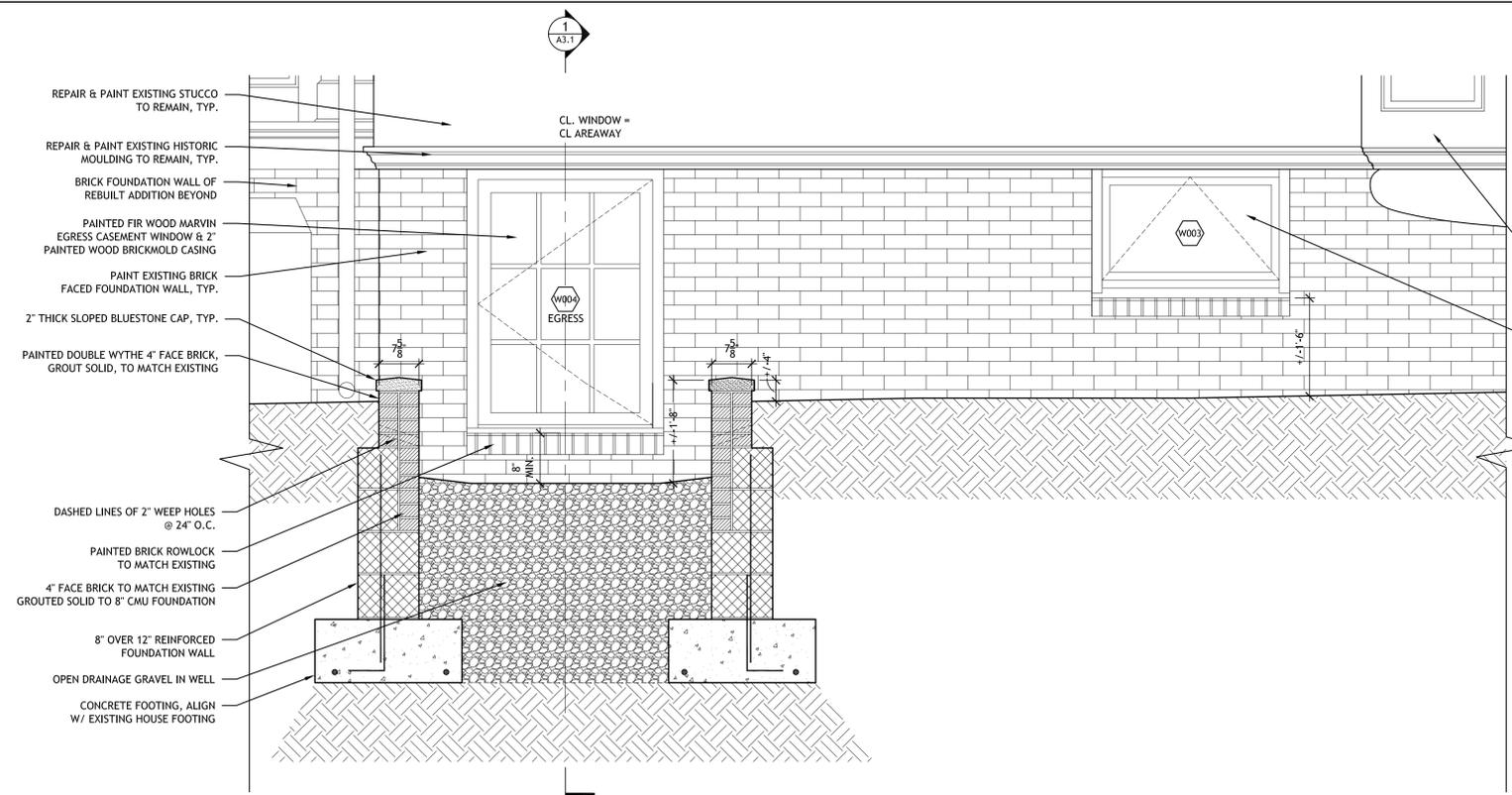
2
A1.1 PROPOSED PARTIAL ARCHITECTURAL SITE PLAN
WITH LOWER LEVEL FLOOR PLAN SHOWING TWO EGRESS AREAWAYS
SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH



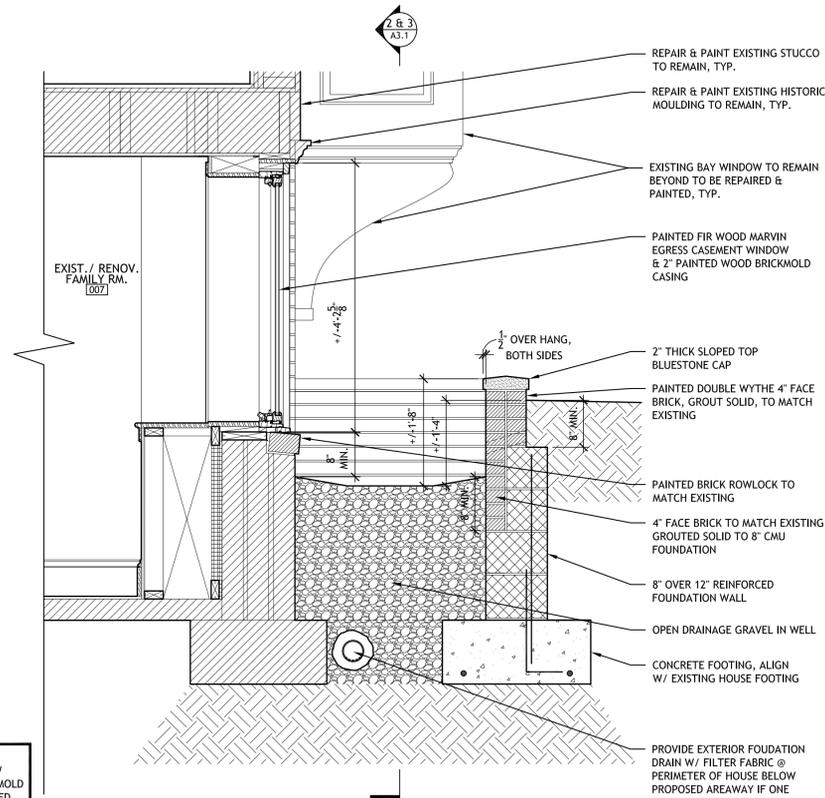
1
A2.1 HPC APPROVED EAST (SIDE) ELEVATION -
SHOWING ONE EGRESS AREAWAY
SCALE: 1/4" = 1'-0"



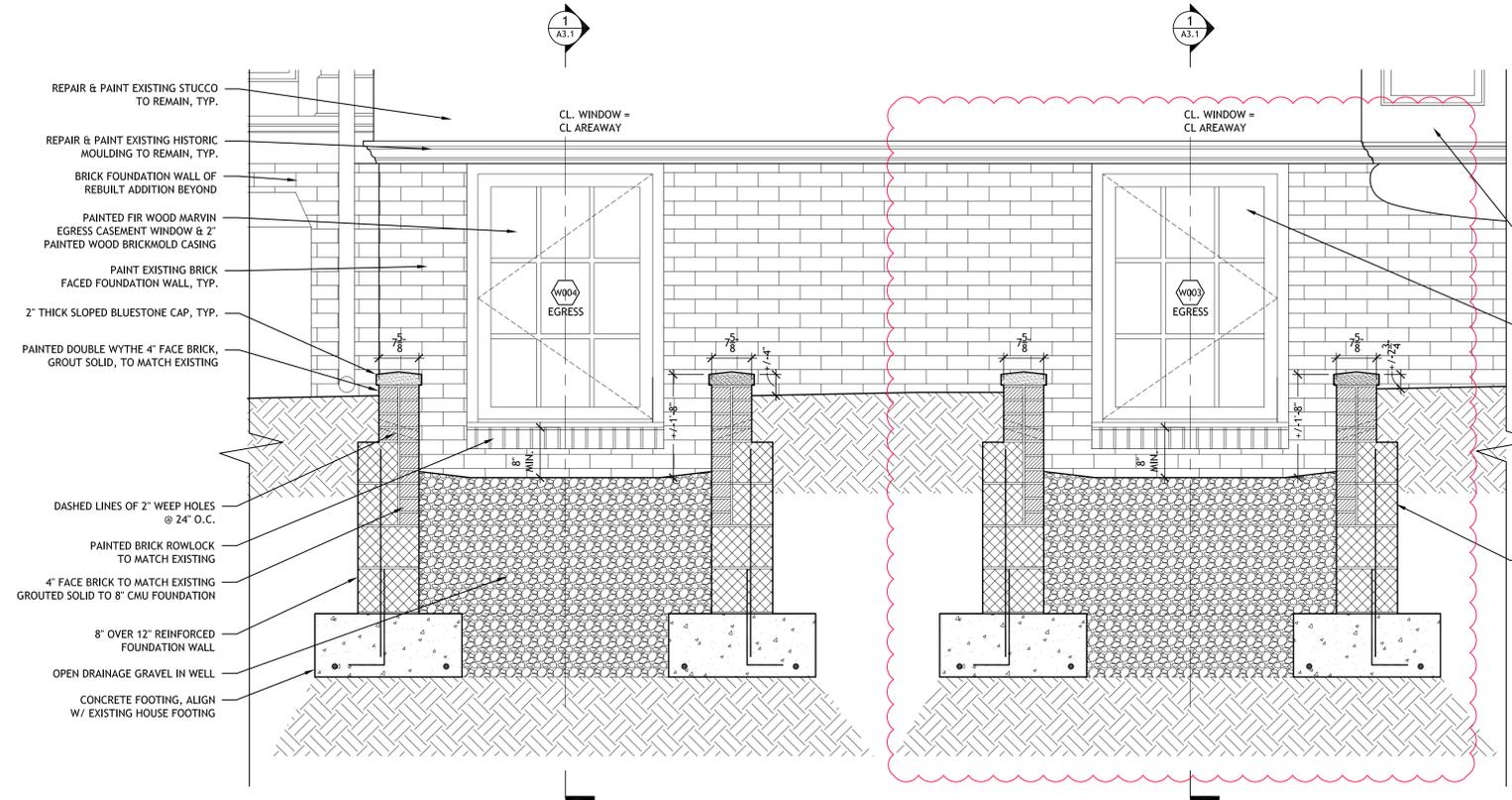
1
A2.2 **PROPOSED EAST (SIDE) ELEVATION -**
SHOWING TWO EGRESS AREAWAYS
SCALE: 1/4" = 1'-0"



1 SECTION / ELEV. AT HPC APPROVED EGRESS AREAWAY & AWNING WINDOW
A3.1 SCALE: 3/4" = 1'-0"



3 WALL SECTION THROUGH HPC APPROVED AREAWAY
A3.1 SCALE: 3/4" = 1'-0"



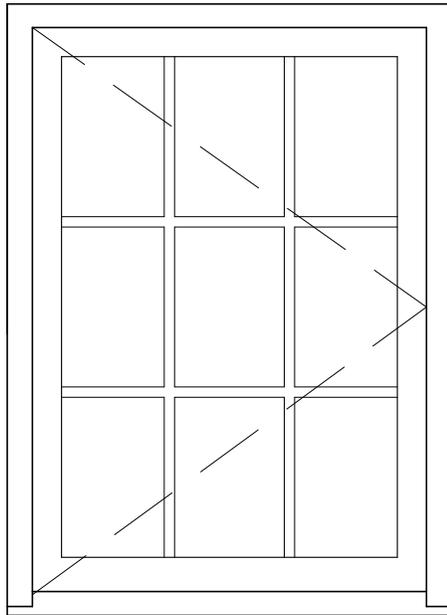
2 SECTION / ELEV. AT HPC APPROVED EGRESS AREAWAY & PROPOSED SECOND EGRESS AREAWAY
A3.1 SCALE: 3/4" = 1'-0"

Issued As:
 To Historic Preservation Commission
 For Public Hearing Application:
 4 September, 2020

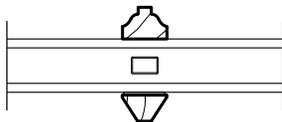
Polygus Residence
215 King George Street, Annapolis, MD 21401
Window Schedule
4 September, 2020

WINDOW	MANUF. #	DESCRIPTION	MASONRY OPENING W X H	SPECIFICATIONS
LOWER LEVEL FLOOR				
W003	Marvin Windows WUCA 3238 (EGRESS)	Wood Ultimate Casement Operable (3 over 3 lites)	M.O.: 3'-1 1/2"W. (Existing width) X 4'- 2 5/8"H. (GC. TO LOWER EXIST. FND. WALL & ROWLOCK SILL HT. AS REQUIRED)	Finish: Primed Fir Interior And Exterior, Field Painted. Exterior Casing: Field Applied Painted Fir or Sapele Wood Brickmold, Casings & Sills. Interior Hardware: White Folding Handle. Interior Screens: Primed Interior Wood Framed Screen (Field Painted) with High Transparency Screen. Interior Jamb Extensions Sills: Field Applied Painted Wood. SDL: 5/8" With Internal Spacer Bars. Glazing: Insulating Low E II Glass w/ Argon.
GENERAL NOTES				
1. Contractor & Manufacturer to verify all existing & new wall opening dimensions prior to window manufacture.				
2. Manufacturer to provide detailed quote for approval prior to window manufacture.				

215 KING GEORGE ST.
MARVIN WINDOW DETAILS, 9.4.20:



MARVIN
WOOD ULTIMATE CASEMENT ELEVATION



WOOD 5/8" SIMULATED DIVIDED LITE (SDL)
W/SPACER BAR & INSULATED GLASS



SDL IS AN ENERGY-EFFICIENT WAY TO CREATE THE LOOK OF DIVIDED LITES. SDL BARS ARE PERMANENTLY ADHERED TO BOTH SIDES OF THE GLASS. A SPACER BAR IS INSTALLED BETWEEN THE GLASS, CREATING THE ESSENCE OF AUTHENTIC DIVIDED LITES.

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

HPC Public Hearing Submittal: Specifications for 215 King George Street

HPC #2020-157/ Page 1 of 3

New Window:

Refer to the attached Window Schedule and reference the attached floor plan and exterior elevation drawing.

New wood window shall be manufactured by Marvin Windows. New window shall be glazed with insulated glass with Low E II/Argon with simulated divided lites, in patterns as shown. All hardware shall be white unless stated otherwise in Window Schedule. Window shall be a wood casement as indicated in the Window Schedule. Window shall be constructed of Douglas fir with factory primed exterior and field painted with a minimum of two finish coats of paint.

New window shall be provided with sill horns adequate to receive field applied wood trim. Head/jamb/sill extensions shall be determined by Contractor and shall be provided as required. Operable window shall be provided with interior wood frames screens with high transparency screen, see Window Schedule. Interior of paint-grade window shall be primed white.

Concrete Masonry Foundation:

Concrete Masonry Materials:

Concrete Masonry Units (CMU): ASTM C90, grade N-1 (moisture cured), lightweight, hollow, with minimum compressive strength of 1500 psi.

Masonry Mortar: ASTM C270, Type M or S.

Setting bed Mortar and Grout: ASTM C270, Type M.

Portland Cement: ASTM C150, Type I, non-staining, no air entrainment.

Sand: ASTM C144, or finer if required.

Masonry Wall Ties: Dur-o-wal, or equivalent, standard ladder type horizontal reinforcement, galvanized.

Deformed reinforcing bars: ASTM A615-60.

Installation of Concrete Masonry Units shall be per the published specifications and recommendations of the National Concrete Masonry Association, and the product manufacturer(s), as applicable to the work described and the conditions encountered. Lay CMU walls to the dimensions and elevations indicated or required in a standard running bond pattern unless otherwise indicated. Where required, unites should be cut with a power saw. Mortar joints shall match existing in color, thickness, and tooling.

Reinforce CMU walls horizontally with masonry wall ties at sixteen inches on center vertically (every second course). Provide prefabricated tees and ells at intersections and corners of masonry walls.

5272 River Road Kenwood Building Suite 610 Bethesda Maryland 20816 301.652.4022 Fax 301.652.4094

HPC Public Hearing Submittal: Specifications for 215 King George Street
HPC #2020-157/ Page 2 of 3

Reinforce CMU walls vertically where indicated or required with deformed reinforcing bars with sizes and spacing indicated or required. Imbed reinforcing in fully grouted cavities typically.

Provide 100% solid units under all bearing elements; insert fully grouted concrete block piers where bearing elements occur in existing foundation walls, in conformance with structural notes and specifications. Provide reinforced precast concrete lintels, or steel lintels, in sizes indicated or required for all masonry openings unless otherwise indicated.

Provide control and expansion joints, weep holes, etc., in locations indicated or required by the published specification and recommendations of NCMA.

Contractor shall be responsible for providing necessary inserts, sleeves, clips, anchors, and miscellaneous devices as may be required for construction. Dimensions and locations of these items shall be verified before CMU wall is erected.

All concrete block foundation walls below grade shall be parged with ¾" thick cement parging, prior to applying waterproofing system.

Brick Veneer at Foundation

Brick Materials: ASTM C216, Grade SW

Face Brick: New brick shall be modular brick with texture to match existing as closely as possible and vertical dimension such that horizontal coursing aligns with the existing brick. All new brick shall be painted. Provide 4 ft. by 4 ft. sample panel for Architect/Owner's approval.

Brick Mortar: ASTM C270, Type N, Type S at or below grade.

Installation of the Facing brick / Brick Veneer shall be per the published specifications and recommendations of the Brick Institute of America, and the product manufacturer(s), as applicable to the work described and the conditions encountered. Lay brick walls to the dimensions and elevations indicated or required in a bond pattern that matches the existing bond pattern, joint thickness, and tooling elsewhere on site. Joints in brickwork shall align with and match existing brick joints, and in no instance shall exceed ½ inch in width. Bond the brick to the CMU or concrete back-up with metal ties at sixteen inches on center horizontally and vertically, unless otherwise required. No cutting of face brick with a face dimension of less than 4 inches shall be permitted.

HPC Public Hearing Submittal: Specifications for 215 King George Street

HPC #2020-157/ Page 3 of 3

Provide control and expansion joints, weep holes, etc. in locations indicated, or as required by the published specifications and recommendations of BIA.

Contractor shall be responsible for providing necessary inserts, sleeves, clips, anchors, and miscellaneous devices as may be required for construction. Dimensions and locations of these items shall be verified before wall is erected.

Paint

Exterior paint shall be Benjamin Moore Aura or approved equal.

All existing exterior surfaces that are painted shall receive new paint to match existing. All surfaces shall be painted with primer plus two finished coats. All existing exposed brick and stucco shall be painted. Colors shall be selected by the Architect. Preparation and application shall meet manufacturer's specifications, requirements, and recommendations.