



## City of Annapolis

Department of Planning & Zoning  
Historic Preservation Division  
145 Gorman Street, 3<sup>rd</sup> Floor  
Annapolis, MD 21401-2535

[HistPres@annapolis.gov](mailto:HistPres@annapolis.gov) • 410-260-2200 • Fax 410-263-1129 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

### Checklist

## Historic Preservation Commission Public Hearing Application

#### Schedule of meetings

Public Hearings are held on the second Tuesday of each month, at 7:00 PM, in the City Council Chamber, 160 Duke of Gloucester Street, Annapolis, Maryland. The applicant or his/her agent **must** attend.

#### General Information

The applicant must schedule a meeting with the Chief of Historic Preservation Roberta Laynor at least 10 business days before the Public Hearing application deadline. The purpose of this meeting is to review application requirements and Design Review Manual guidelines as they relate to the proposed project. Ms. Laynor can be reached at [rlaynor@annapolis.gov](mailto:rlaynor@annapolis.gov) or 410-260-2200 ext. 7791.

#### Submittal requirements:

- 9 Collated Packets - in the following order: HPC application, permit application(s), existing condition photos, site plan, drawings, product specifications and any other information pertinent to your submittal.
- 1 PDF on a Thumb Drive or Disc of the entire application in the same order as above. (Revisions to applications will require the submittal of a newly revised PDF).

#### Each packet must contain the following:

1. Public Hearing Application.
2. Permit Application - Building Permit Application, Sign Permit Application, Fence Permit Application, Curb Cut Application, Application for Demolition, and/or Tree Removal Permit Application, **if applicable**.
3. Photographs – Labeled with address, date and description of photo - 4" x 6" or larger size color prints or color digital photos which contain the following:
  - General elevation photo of the entire front of building to place the project in context;
  - Elevation photos of all sides of the building where work will take place; and
  - Close-up photos showing additional details of all affected areas of the building or property.
4. Product cut sheets/specifications for all new or replacement material and methods. Use of the terms "in-kind" or "matching" is not sufficient.
5. A Site Plan and/or Property Survey to scale indicating property lines and lot dimensions, existing structures and locations of existing features and proposed changes.
6. **Scaled** dimensioned drawings (1/4" to 1') for new construction, additions, and major alterations to include: plans, sections, elevations and details. **Original scaled drawings only, no copies or reproductions. Dimensions must be exact, not estimated.** Drawings must be clear and well-marked. All drawings must be folded, not ROLLED.
7. Copy of approval, if applicable, from the Current Zoning Division for any project exceptions to City zoning codes.

#### And, if applicable:

Specifications for *mortar repointing and brick repair or replacement*.

Details of the old and new *mechanical equipment* in size, location and capacity.



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 Historic Preservation Division  
 145 Gorman Street, 3<sup>rd</sup> Floor  
 Annapolis, MD 21401-2535

FOR CITY USE ONLY	
AGENDA #	_____
PROJECT #	_____
MEETING DATE	_____

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### HPC Public Hearing Application for Certificate of Approval

**Authority**

State of Maryland Land Use Code, Division I, Title 8 Historic Preservation  
 City of Annapolis Historic District Zoning Ordinance 21.56  
 Secretary of the Interior's Standards for Rehabilitation  
 Building in the Fourth Century: Annapolis Historic District Design Manual

Commercial  Residential

Building site address 71 Conduit Street Annapolis, MD 21401

Provide complete information below. Mailing addresses and telephone numbers are *required*.

Property Owner Information		Contractor's Information	
Name <u>Paul and Susan Obelreither</u>	Name <u>Pella Mid-Atlantic Inc.</u>	Name	Name
Address <u>71 Conduit Street</u>	Address <u>12100 Baltimore Ave Suite #1</u>	Address	Address
City <u>Annapolis</u> State <u>MD</u> Zip <u>21401</u>	City <u>Beltville</u> State <u>MD</u> Zip <u>20705</u>	City	City
Day phone <u>610-608-0701</u> Cell _____	Day phone <u>301-821-3327</u> Cell _____	Day phone	Day phone
E-mail <u>soberreither@levian-re.com</u>	E-mail <u>dhirz@pellamidatlantic.com</u>	E-mail	E-mail

Authorizing Applicant Information		Architect/Engineer Information	
Name <u>David Hirz</u>	Name <u>Consulting Engineers Corp.</u>	Name	Name
Address <u>12100 Baltimore Ave Suite #1</u>	Address <u>11480 Sunset Hills Road Suite 100</u>	Address	Address
City <u>Beltville</u> State <u>MD</u> Zip <u>20705</u>	City <u>Reston</u> State <u>VA</u> Zip <u>20180</u>	City	City
Day phone <u>301-821-3327</u> Cell _____	Day phone <u>703-481-2108</u> Cell _____	Day phone	Day phone
E-mail <u>dhirz@pellamidatlantic.com</u>	E-mail <u>rsinha@engineer-cec.com</u>	E-mail	E-mail

**Tax Credit**

Will you be applying for the City's Historic Preservation Tax Credit?  Yes  No

The tax credit is limited to those expenses having to do with the exterior features and limited interior life safety alterations of a contributing historic structure. The total estimate of expenses per application must exceed \$5,000. Applications must be submitted prior to start of work. Please refer to the Annapolis City Code [Section 6.04.230](#) – Historic Preservation Tax Credit.

**Easement**

Are there any easements or deed restrictions for the exterior of this building or the site?  Yes  No

If yes, submit a letter from the easement holder stating their approval of the proposed work.

**Description of Work Proposed** - Please be specific and include as much information as possible in the box below. Attach an extra sheet if more space is needed.

Replacing the front entry door with a new Craftsman style wood door. Replacing two back single windows with new double casement windows. The front entry door we would like to widen the current size from 31.5" to 36". Since we are already widening the opening we would also like to make it taller from 79" to 80". We can also keep door in same size if that is preferred. The first floor back window we would like to replace is currently a replaced (non-original) double hung window that is 30" wide. We would like to make it a double casement window 46.5" wide. The second floor back window is a replaced casement window. We would like to make it a double casement window which will be same size and match the window we want to do on 1st floor.

**Project Cost and Fees**

Estimated cost of the improvement \$ 9,886.00

**Filing Fee**

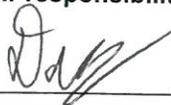
- Public Hearing Application based on 1% of estimated cost. Minimum \$35.00 – Maximum \$1,000.00
- "After the Fact" Public Hearing Application based on 1% of estimated cost. Minimum \$50.00 - Maximum \$2,000.00

Make check payable to *City of Annapolis*.

**Signature of owner or authorized agent**

The applicant certifies & agrees as follows: (1) that they are authorized by the property owner to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically approved by the Historic Preservation Commission; (5) that they are authorized by the property owner to grant City officials the right to enter onto the property for the purpose of inspecting the work permitted.

**A Notice of Public Hearing sign will be made available to the applicant. By signing this application, the applicant acknowledges that it is their responsibility to post the sign 15 days before the hearing.**

Owner/Applicant signature  Date 8/27/2020

FOR HPC USE ONLY

Rate x Estimated Cost \$ \_\_\_\_\_ Application received \_\_\_\_\_

Date paid \_\_\_\_\_ Amendment to COA # \_\_\_\_\_

HPC Approval \_\_\_\_\_ Date \_\_\_\_\_



**City of Annapolis**  
 Department of Planning and Zoning  
 145 Gorman Street, 3<sup>rd</sup> Fl  
 Annapolis, MD 21401-2529

FOR CITY USE ONLY	
PERMIT #	_____
ISSUED	_____
BY	_____
EXPIRES	_____

[Permitting@annapolis.gov](mailto:Permitting@annapolis.gov) • 410-260-2200 • Fax 410-263-9158 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

### Building Permit Application

Per City Code [Section 17.12.056](#), fees are not refundable.

[Fee Schedule](#)

Please note that, per City Code [Section 17.28.090](#), any expansion or change in use may be subject to capital facility assessment charges.

Building site address 71 Conduit Street Annapolis, MD 21401 Suite/Unit # \_\_\_\_\_

Property Tax ID # 06299100 Lot # \_\_\_\_\_ Zone \_\_\_\_\_

Is above address within the Historic District area?  Yes  No Waterfront?  Yes  No

Within the floodplain?  Yes  No Sprinkler system in building?  Yes  No

#### Property Owner Information

Name PAUL and Susan OBERREITHER  
 Address 71 Conduit Street  
 City Annapolis State MD Zip 21401  
 Day phone 518 253-3373 Cell \_\_\_\_\_  
 E-mail soberreither@cevia-re.com

#### Contractor's Information

Name Pella Mid-Atlantic Inc  
 Address 12100 Baltimore Ave Suite#1  
 City Beltsville State MD Zip 20705  
 Day phone 301-821-3327 Cell \_\_\_\_\_  
 E-mail dhirz@pellamidatlantic.com

#### Applicant Information

Name David Hirz  
 Address 12100 Baltimore Ave Suite#1  
 City Beltsville State MD Zip 20705  
 Day phone 301-821-3327 Cell \_\_\_\_\_  
 E-mail dhirz@pellamidatlantic.com

#### Architect/Engineer Information

Name Consulting Engineers Corp.  
 Address 11480 Sunset Hills Road Suite 100  
 City Reston State VA Zip 20180  
 Day phone 703-481-2100 Cell \_\_\_\_\_  
 E-mail rsinha@engineer-cec.com

#### Occupant Information

Name Same as owner  
 Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Day phone \_\_\_\_\_ Cell \_\_\_\_\_  
 E-mail \_\_\_\_\_

#### Permit Information

Please check if any of the following work to be done is:  
 \_\_\_\_\_ Plumbing \_\_\_\_\_ Electrical \_\_\_\_\_ HVAC \_\_\_\_\_ Gas  
 Residential \_\_\_\_\_ Commercial  
 Value of work \$ 9,886

Please provide 24-hour emergency contact information:

Name David Hirz Phone 301-821-3327

Describe proposed work:

Replacing the front door with a new wood door. The new door size will be 36 x 80 which is a few inches wide than current door opening  
 Enlarging two openings on back of 1st floor and installing new double casement windows.

Permit # \_\_\_\_\_

Building site address 71 Conduit Street Annapolis, MD 21401

Date 8/19/2020

Contractor License	License #	Expiration Date
MHIC	136537	09/01/2020 - to be extended COVID
State of MD Construction		
MD Homebuilder Registration (New residential dwellings only)		

**Dimensions**

Lot size 1830 Building size (sq. ft.) 1476 Building height 30ft # of stories 3

Proposed work area (sq. ft.) 64 Basement area only (sq. ft.) \_\_\_\_\_

Total floor area (sq. ft. including basement) \_\_\_\_\_ Is it a corner lot?  Yes  No

Proposed setbacks from property line (ft) Front \_\_\_\_\_ Left \_\_\_\_\_ Rear \_\_\_\_\_ Right \_\_\_\_\_

If a water or sewer connection is required, I prefer:

City installation  To seek approval of the Public Works Department to have it installed by a licensed contractor (which may require a Street/Sidewalk Opening Permit and/or a bond)

Are trees being removed?  Yes  No If yes, complete a Tree Permit application.

Are there trees within 15' of the limit of disturbance?  Yes  No If yes, show trees on a submitted site plan and identify those to be removed.

*A use permit is required for new tenants, change of occupancy or owner, or expansion of a commercial use. (A Use Permit Application must accompany the Building Permit Application.)*

Existing use Single Family

Proposed use No Change Single Family

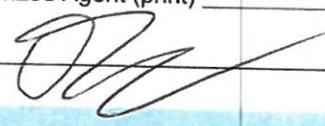
*A certificate of occupancy may be required as determined by the Code Official.*

**Signature of owner or authorized agent**

The applicant certifies and agrees as follows: (1) that they are authorized to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically described in this application; (5) that they grant City officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices; (6) if you choose to appeal the issuance, decision, determination or order of this permit, the petition for appeal shall be in writing stating the grounds for appeal and shall be filed with the Building Board of Appeals within 15 calendar days of issuance, decision, determination or order. Any right to appeal shall be waived if not timely filed.

Owner or Authorized Agent (print) David Hirz

Signature \_\_\_\_\_



Date 8/19/2020

**FOR CITY USE ONLY**

PZ final approval \_\_\_\_\_ Date \_\_\_\_\_

App fee paid \_\_\_\_\_ Permit fee \_\_\_\_\_ Fee due \_\_\_\_\_

71 Conduit Street - Street view



View from Street. Replacing front door. Back two windows being replaced not visible from Street.



71 Conduit Street

Front Door being replaced.

Non-original front door. Proposing 4.5" wider door centered each side. 1" taller door.



71 Conduit Street Alley  
Shows back windows not visible



71 Conduit Street

2 Back Windows being  
replaced with 15" wider double  
casement windows



71 Conduit Street - close up of both back windows to be replaced with matching 15" wide double casement wood windows



71 Conduit Street  
first floor back window  
being replaced with 15"  
wider double casement window



7/1 Conduit Street close up  
of condition of previously replaced double  
hung window. New double casement will be all wood.



71 Conduit Street Close up  
of second floor <sup>back</sup> window being  
replaced with 15' wide double  
casement wood window.



71 Conduit Street view from  
back to front,



# Proposal - Detailed

Phone:

Fax:

Sales Rep Name:  
Sales Rep Phone:  
Sales Rep E-Mail:  
Sales Rep Fax:

Customer Information	Project/Delivery Address	Order Information
Susan Oberreither 71 Conduit St Annapolis, MD 21401-2801 Primary Phone: (518) 2533373 Mobile Phone: Fax Number: E-Mail: soberreither@cevian-re.com Contact Name: Great Plains #: Customer Number: 1008270334 Customer Account: 1004201768	*Susan Oberreither - 71 Conduit St, Annapolis, MD, 71 Conduit St Lot # Annapolis, MD 21401 County: Owner Name: Susan Oberreither Owner Phone: (518) 2533373	Quote Name: *Susan Oberreither - 71 Conduit St, Annapolis, MD, Order Number: 7172JDKJA Quote Number: 12715089 Order Type: Installed Sales Wall Depth: Payment Terms: Tax Code: MARYLAND8 Cust Delivery Date: None Quoted Date: 6/12/2020 Contracted Date: 6/13/2020 Booked Date: Customer PO #:

Customer Notes: REPLACING FRONT ENTRY DOOR WITH NEW WOOD DOOR. THE WOOD DOOR IN SPECIFICATIONS IS 4.5" WIDER AND 1" TALLER THAN CURRENT DOOR. THIS CAN BE CHANGED TO A CUSTOM WOOD DOOR MATCHING CURRENT SIZE IF NECESSARY. THE CURRENT DOOR BEING REPLACED IS A NON-ORIGINAL FRONT DOOR.

REPLACING TWO BACK WINDOWS WITH NEW WOOD DOUBLE CASEMENT WINDOWS. THE CURRENT WINDOWS ARE 30" X 55". THE NEW WINDOWS WE WOULD LIKE TO INSTALL ARE 46.5" AND 55". NEW STRUCTURAL HEADERS PER DRAWINGS REQUIRED ON ALL THREE OPENINGS.

Line #	Location:
10	set fee

**RPSET201 - INSTALL for 0 - 1000**

Qty  
1

Line #	Location:
15	FRONT DOOR

**Premium Wood Entry Door, Entry Door , 37.75 X 82.75, 4 9/16"**

Qty  
1



PK #  
2060

Viewed From Exterior  
**Rough Opening: 38 - 1/2" X 83 - 1/4"**

1: 3680 Entry Door  
 Frame Size: 37 3/4 X 82 3/4  
 Unit Type: Right Inswing, Standard Sill  
 Dimension Options: No Cut Down  
 General Information: 4 9/16", 4 9/16"  
 Panel Style: Wood, Rustic Walnut, Glazed, Craftsman Light, None  
 Glass: Tempered Low-E  
 Grilles: True Divided Light, 1 5/8" Craftsman, Match Interior Panel Finish, Match Exterior Panel Finish, Traditional, Typical, 3, 2  
 Panel Selection: Stained, Rosewood, Stained, Rosewood  
 Frame Selection: Wood, Mahogany, Rosewood, Wood, Rosewood  
 Hardware Options: Latch Bore with Deadbolt, 2 3/8", 2 1/8", No Integrated Sensor, Seattle, Seattle, Matte Black, Single Cylinder, Standard Hinge, Black, Mill Finish Sill  
 Unit Accessories: No Clavos, No Hinge Straps, 3 Block, No Bang Panel  
 Performance Information: CPD Not Rated  
 Wrapping Information: Wood Brickmould, 2", Factory Applied, 4 9/16", Factory Applied, Pella Recommended Clearance, Perimeter Length = 24 1/2"

Customer Notes: ALL WOOD FRONT DOOR.

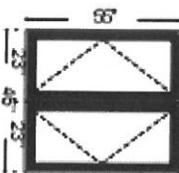
PSPAINTRR22 - PAINTRR22 Paint Trim to Match Pella Pre-Finished Entry System	Qty	1
RIINSTALL - * MISCELLANEOUS LABOR CHARGE *	Qty	1
PSPAINTRR10 - PAINTRR10 Double Hinged Door w/muntins & trim	Qty	1
RIW244 - Entry Door - Single Door	Qty	1
RIW269 - Opening Modification less than 3"	Qty	2

Line #	Location:	Attributes
20	1ST FLOOR BACK	

**Architect, Traditional, 2-Wide Casement, 46 X 55**

Qty

1



PK #  
2067

Viewed From Exterior  
Rough Opening: 46 - 3/4" X 55 - 3/4"

**1: Traditional, 2355 Left Casement**

Frame Size: 23 X 55  
 General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification  
 Exterior Color / Finish: Primed  
 Interior Color / Finish: Prefinished White Paint Interior  
 Sash / Panel: Putty Glaze, Ogee, Standard  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor  
 Screen: Full Screen, White, InView™  
 Performance Information: U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: No Grille,  
 Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20  
 2: Traditional, 2355 Right Casement  
 Frame Size: 23 X 55

General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification  
 Exterior Color / Finish: Primed  
 Interior Color / Finish: Prefinished White Paint Interior  
 Sash / Panel: Putty Glaze, Ogee, Standard  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor  
 Screen: Full Screen, White, InView™  
 Performance Information: U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: No Grille,  
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 202".

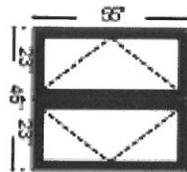
Customer Notes: ALL WOOD DOUBLE CASEMENT WINDOWS

PSPAINTRR01 - PAINTRR01 Window w/muntin & trim <96 UI	Qty	1
RIW270 - Widen Frame Opening over 3" up to 10'	Qty	1
RIW210 - Full Tear Out Installation - Single Unit	Qty	1
RIINSTALL - * MISCELLANEOUS LABOR CHARGE *	Qty	1

Line #	Location:
25	2ND FLOOR BACK

**Architect, Traditional, 2-Wide Casement, 46 X 55**

Qty  
1



PK #  
2067

Viewed From Exterior  
Rough Opening: 46 - 3/4" X 55 - 3/4"

**1: Traditional, 2355 Left Casement**

Frame Size: 23 X 55  
 General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification  
 Exterior Color / Finish: Primed  
 Interior Color / Finish: Prefinished White Paint Interior  
 Sash / Panel: Putty Glaze, Ogee, Standard  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor  
 Screen: Full Screen, White, InView™  
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 Grille: No Grille,  
 Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20  
 2: Traditional, 2355 Right Casement  
 Frame Size: 23 X 55  
 General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification  
 Exterior Color / Finish: Primed  
 Interior Color / Finish: Prefinished White Paint Interior  
 Sash / Panel: Putty Glaze, Ogee, Standard  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor  
 Screen: Full Screen, White, InView™  
 Performance Information: U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: No Grille,  
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 202".

Customer Notes: ALL WOOD DOUBLE CASEMENT WINDOWS

PSPAINTRR01 - PAINTRR01 Window w/muntin & trim <96 UI	Qty 1
RIW270 - Widen Frame Opening over 3" up to 10'	Qty 1
RIW210 - Full Tear Out Installation - Single Unit	Qty 1
RIINSTALL - * MISCELLANEOUS LABOR CHARGE *	Qty 1

**Thank You For Your Interest In Pella® Products**

**PELLA WARRANTY:**

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Roloscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

**INSYNCTIVE PRODUCTS:** In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [insynctive.pella.com](https://www.pella.com/insynctive/pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

**Notice of Collection of Personal Information:** We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

**ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")**

**YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS.** You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to [bellawebsupport@pella.com](mailto:bellawebsupport@pella.com), with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit [www.pella.com/arbitration](http://www.pella.com/arbitration) or e-mail to [bellawebsupport@pella.com](mailto:bellawebsupport@pella.com), with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

**Product Performance Information:**

**U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT)** are certified by the National Fenestration Rating Council (NFRC).

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

Customer: Susan Oberreither

Project Name: \*Susan Oberreither - 71 Conduit St, Annapolis, MD,

Quote Number: 12715089

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to [www.pella.com/performance](http://www.pella.com/performance).

Customer: Susan Oberreither

Project Name: \*Susan Oberreither - 71 Conduit St, Annapolis, MD,

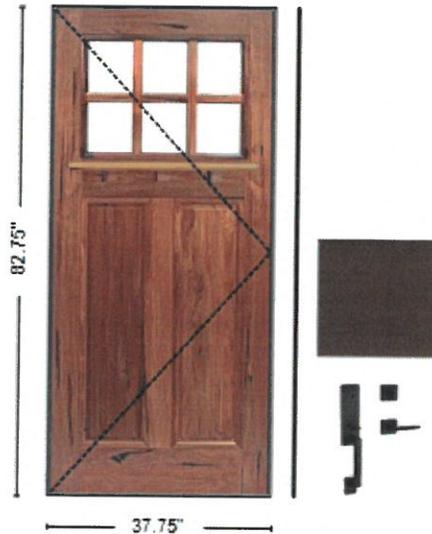
Quote Number: 12715089

**Order Totals**

Taxable Subtotal	\$6,487.44
Sales Tax @ 6%	\$389.25
Non-taxable Subtotal	\$3,398.58
<b>Total</b>	<b>\$10,275.27</b>
Deposit Received	\$0.00
<b>Amount Due</b>	<b>\$10,275.27</b>

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

**Quote Number:** 12715089

**Line Number:** 15

**Quote Qty:** 1

**Scaling:** 1/2" = 1'

**Description:** Premium Wood Entry Door, Entry Door , 37.75 X 82.75, 4 9/16"

**Rough Opening:** 38.5" X 83.25"

**Performance Information:** CPD Not Rated

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



**Quote Name:** \*Susan Oberreither - 71 Conduit **Project Name:** \*Susan Oberreither - 71 C

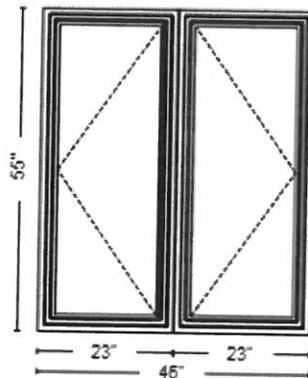
**Jobsite Location:** Annapolis, MD

**Room Location:** FRONT DOOR

**Sales Branch Location:** 71700 Pella Mid-Atlantic, Inc.

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

**Quote Number:** 12715089

**Line Number:** 20

**Quote Qty:** 1

**Scaling:** 1/2" = 1'

**Description:** Architect, Traditional, 2-Wide Casement, 46 X 55

**Rough Opening:** 46.75" X 55.75"

**Performance Information:** U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements

**Performance Information:** U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



**Quote Name:** \*Susan Oberreither - 71 Conduit **Project Name:** \*Susan Oberreither - 71 C

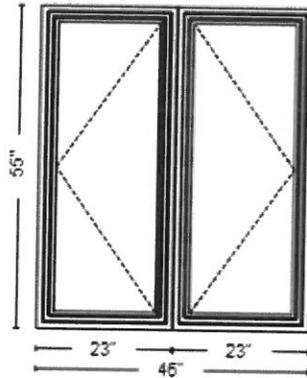
**Jobsite Location:** Annapolis, MD

**Room Location:** 1ST FLOOR BACK

**Sales Branch Location:** 71700 Pella Mid-Atlantic, Inc.

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

**Quote Number:** 12715089

**Line Number:** 25

**Quote Qty:** 1

**Scaling:** 1/2" = 1'

**Description:** Architect, Traditional, 2-Wide Casement, 46 X 55

**Rough Opening:** 46.75" X 55.75"

**Performance Information:** U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements

**Performance Information:** U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-39-18865-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.

\*\* building owner, architect, contractor, installer and/or consumer



**Quote Name:** \*Susan Oberreither - 71 Conduit **Project Name:** \*Susan Oberreither - 71 C

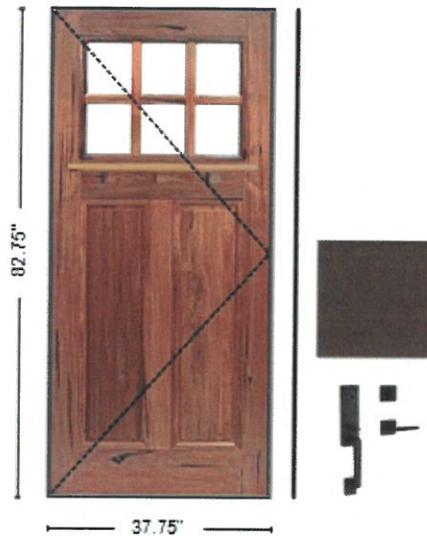
**Jobsite Location:** Annapolis, MD

**Room Location:** 2ND FLOOR BACK

**Sales Branch Location:** 71700 Pella Mid-Atlantic, Inc.

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

**Quote Number:** 12715089

**Line Number:** 15

**Quote Qty:** 1

**Scaling:** 1/2" = 1'

**Description:** Premium Wood Entry Door, Entry Door , 37.75 X 82.75, 4 9/16"

**Rough Opening:** 38.5" X 83.25"

**Performance Information:** CPD Not Rated

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



**Quote Name:** \*Susan Oberreither - 71 Conduit **Project Name:** \*Susan Oberreither - 71 C

**Jobsite Location:** Annapolis, MD

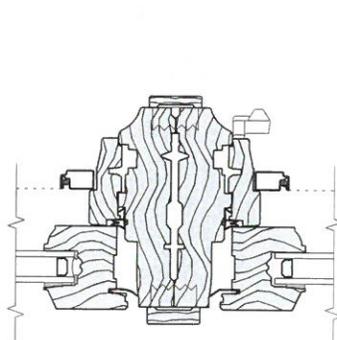
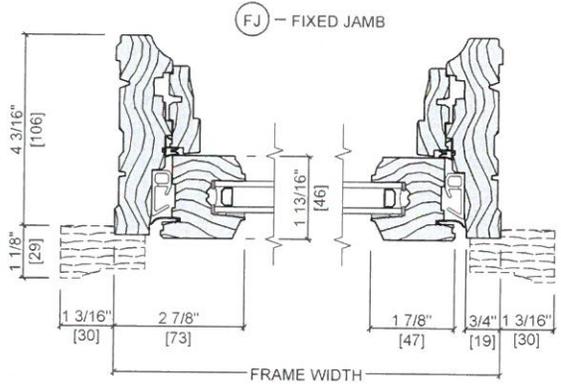
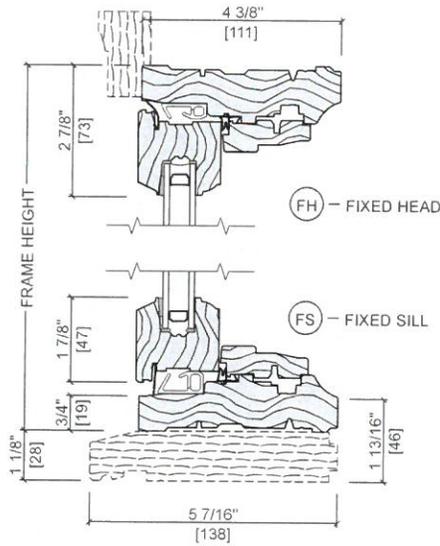
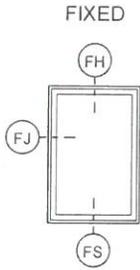
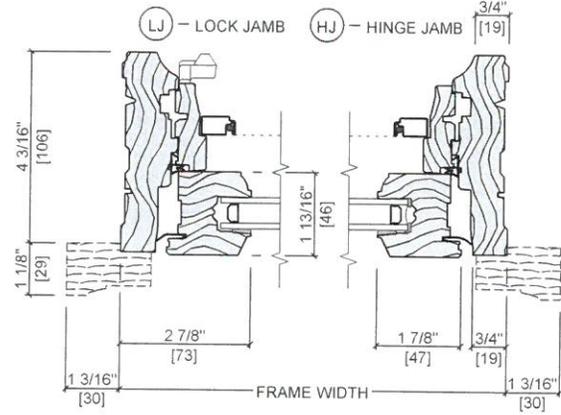
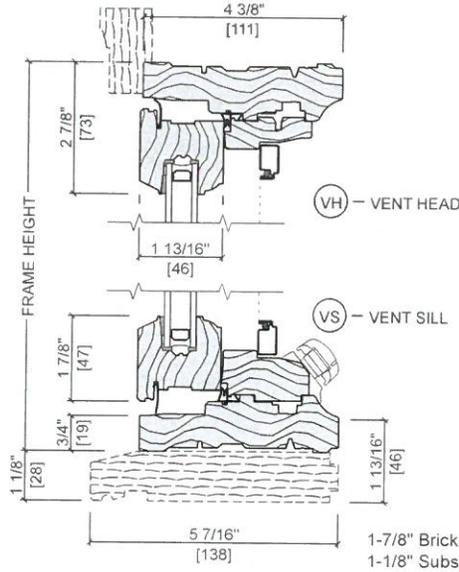
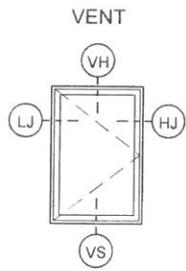
**Room Location:** FRONT DOOR

**Sales Branch Location:** 71700 Pella Mid-Atlantic, Inc.

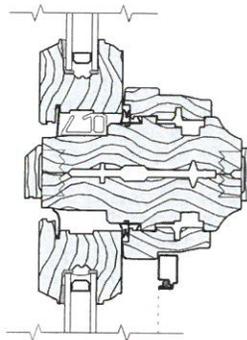


# Architect Series® Traditional Casement Window

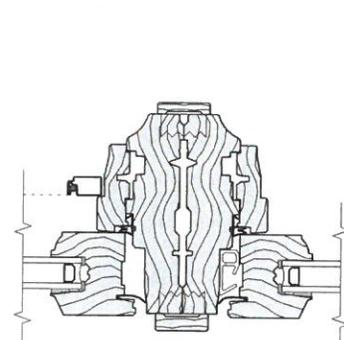
Unit Sections - Wood Exterior, Putty Glaze Exterior Profile



VERTICAL JOINING MULLION  
VENT / VENT



HORIZONTAL JOINING MULLION  
FIXED / VENT



VERTICAL JOINING MULLION  
VENT / FIXED

Scale 3" = 1' 0"

All dimensions are approximate.

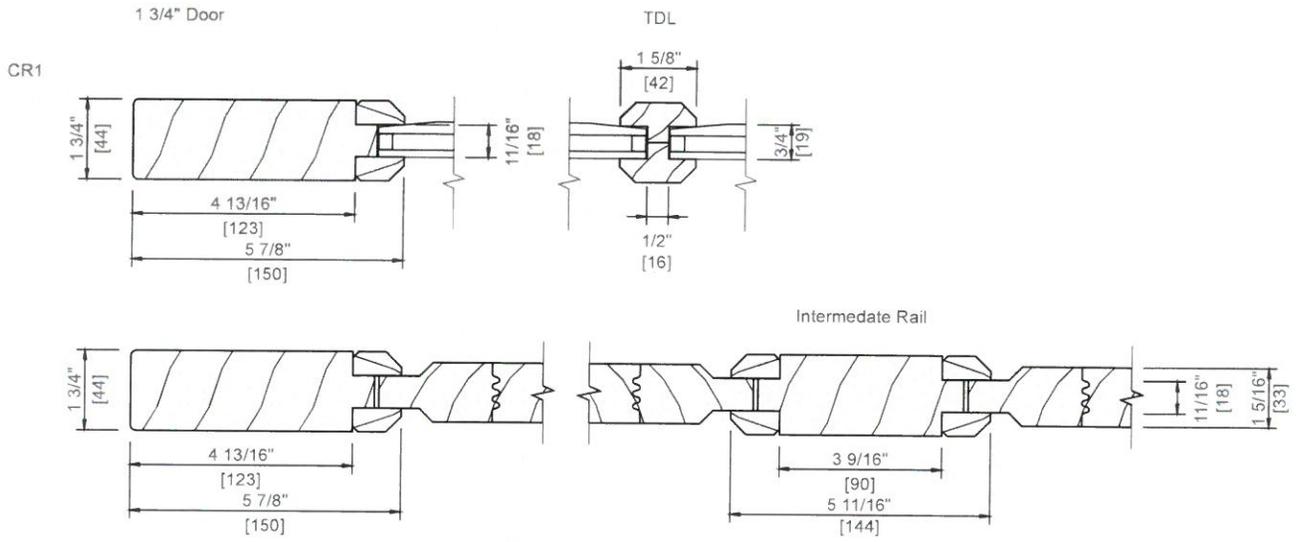
See Combinations Section for mullion limitations and reinforcing requirements.



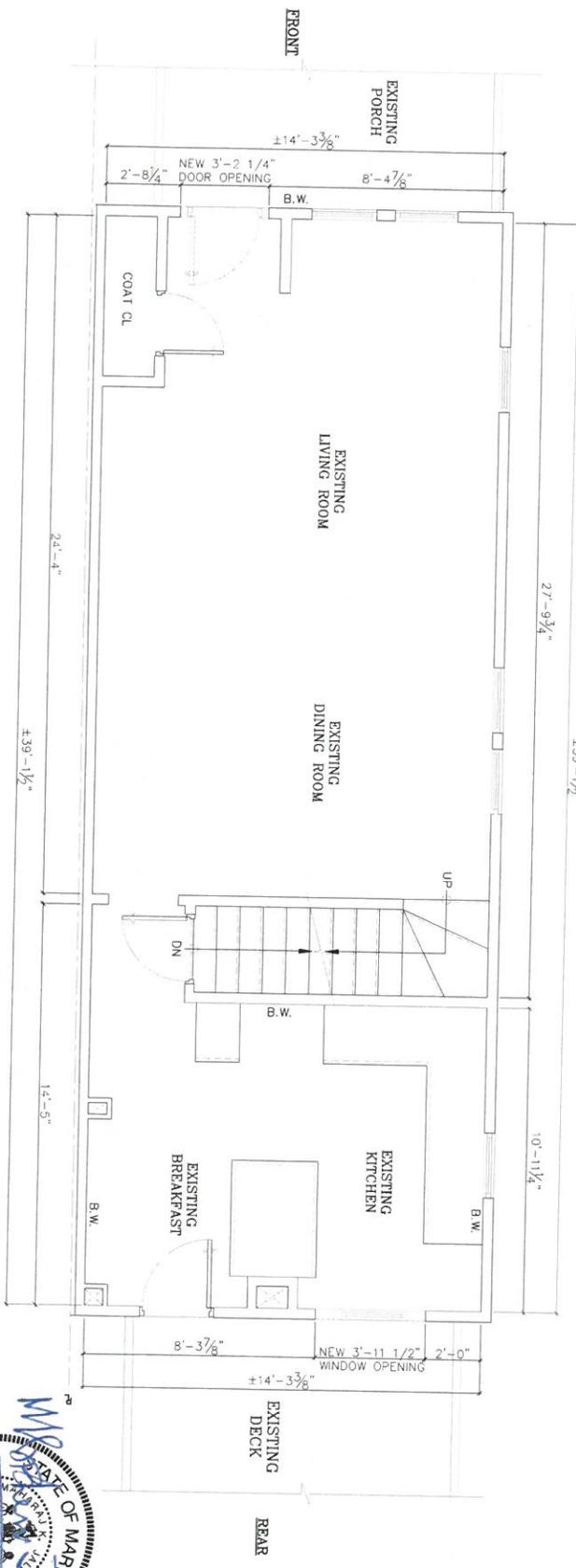
# Premium Wood Entry Doors

## Panel Cross Sections

CR1:



Scale 3" = 1' 0"



**EXISTING/DEMO FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- CODE: INTERNATIONAL RESIDENTIAL CODE (IRC)-2018
- NOTES:
- 1. DESIGN LOADS:
    - ROOF SNOW LOAD = 30 PSF
    - ROOF DEAD LOAD = 17 PSF
    - FLOOR LIVE LOAD = 40 PSF
    - FLOOR DEAD LOAD = 10 PSF
- LEGEND:
- EXISTING WALL TO DEMO
  - EXISTING STUD WALL
  - B.W. - BEARING WALL
  - PROPERTY LINE

PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED  
 OR APPROVED BY ME, AND THAT I AM DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF  
 MARYLAND, LICENSE NO. 14702, EXPIRATION DATE 12/01/21.



AGU, 05, 2020

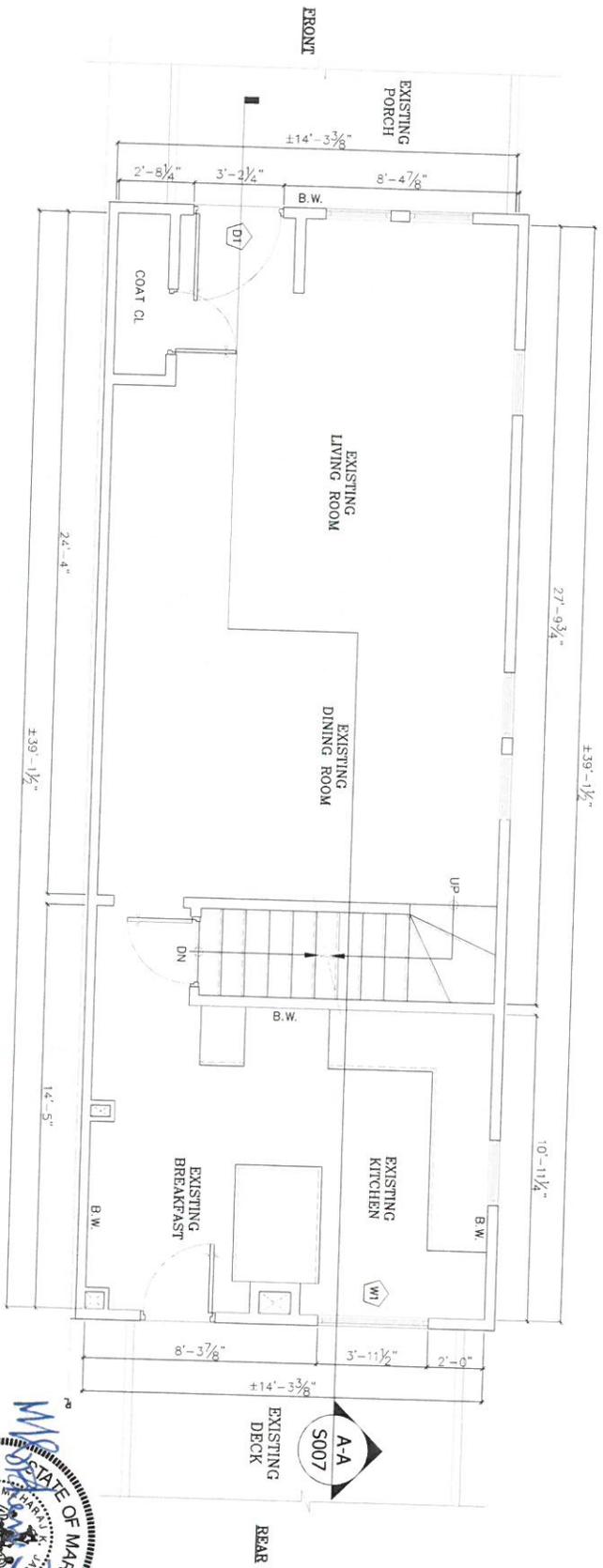
SHEET: <b>S001</b>	CLIENT: PELLA MID-ATLANTIC, INC.	PROJECT: 71 CONDUIT ST, ANNAPOLIS MD 21401	 11480 SUNSET HILLS ROAD SUITE 100 E RESTON, VA 20190-5208 PHONE: (703) 481-2100 FAX: (703) 481-3200
	DATE: AGU 05 2020	SCALE: AS NOTED	

DOOR SCHEDULE					
DOOR	WIDE	HEIGHT	TYPE	U-VALUE	SHGC COEFFICIENT
⬠ D1	37.75"	82.75"	ENTRY DOOR	-	-

WINDOW SCHEDULE					
WINDOW	WIDE	HEIGHT	TYPE	U-VALUE	SHGC COEFFICIENT
⬠ W1	46.5"	55"	2-WIDE CASEMENT WINDOW	0.26	0.25

LEGEND:  
 [Symbol] - BEARING WALL  
 [Symbol] - EXISTING STUD WALL

NOTE: 24" SILL HEIGHT IS REQUIRED WHERE APPLICABLE BY CODE  
 IRC-2015 (SECTION R310 & R312) - WINDOW COMPANY TO MEET THIS REQUIREMENTS



**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED  
 OR APPROVED BY ME AND I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE STATE OF  
 MARYLAND LICENSE NO. 14102 EXPIRATION DATE 12/01/21

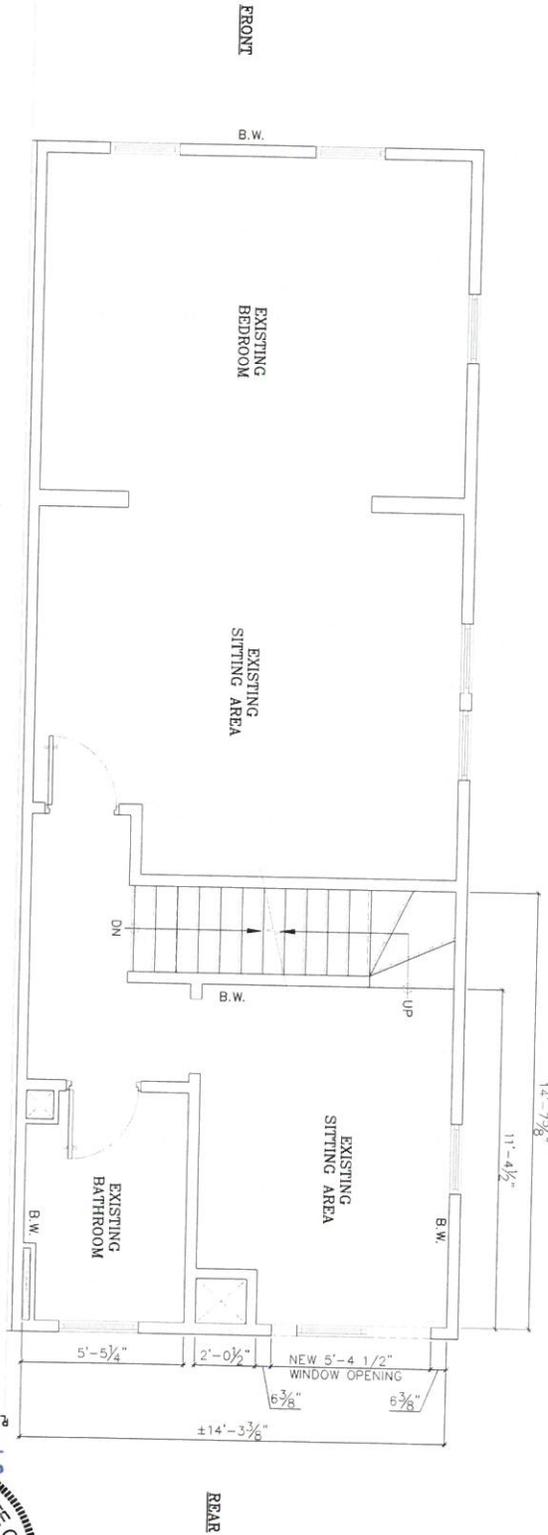
AGU, 05, 2020



SHEET <b>S002</b>	CLIENT: PELLA MID-ATLANTIC, INC.	PROJECT: 71 CONDUIT ST, ANNAPOLIS MD 21401	<b>CE</b> CONSULTING ENGINEERS, CORP. 11480 SUNSET HILLS ROAD SUITE 100 E RESTON, VA 20190-5208 PHONE: (703) 481-2100 FAX: (703) 481-3200	REVISIONS	BY
	DATE: AGU, 05, 2020 SCALE: AS NOTED DRAWN: AP	PROPOSED FIRST FLOOR PLAN			

EXISTING/DEMO SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



- LEGEND:
- EXISTING WALL TO DEMO
  - EXISTING STUD WALL
  - B.W. --- BEARING WALL
  - P --- PROPERTY LINE

PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED  
 OR APPROVED BY ME, AND THAT I AM DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF  
 MARYLAND, LICENSE NO. 14702, EXPIRATION DATE 12/01/21

AGU, 05, 2020



CLIENT:  
 PELLA MID-ATLANTIC, INC.

PROJECT:  
 71 CONDUIT ST,  
 ANNAPOLIS MD 21401

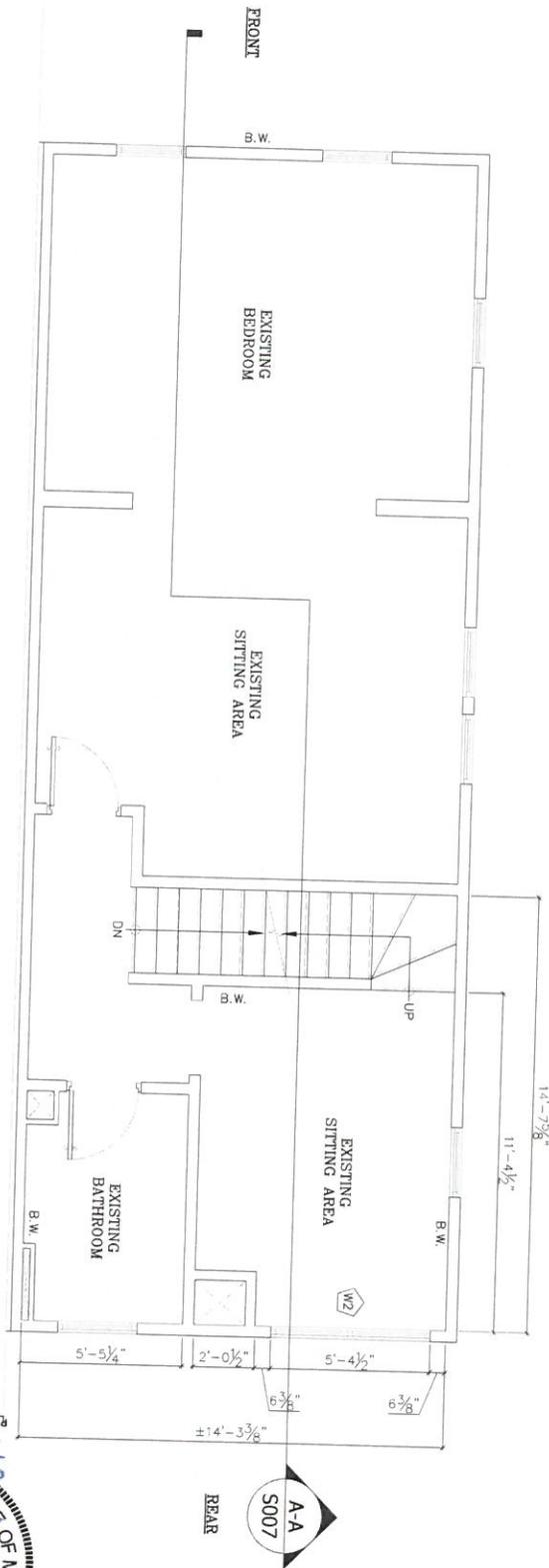
DATE: AUG 05 2020  
 SCALE: AS NOTED  
 DRAWN: AP  
 SHEET:  
**S003**

EXISTING/DEMO SECOND FLOOR PLAN

	<b>CONSULTING ENGINEERS, CORP.</b> <small>11480 SUNSET HILLS ROAD SUITE 100 E RESTON, VA 20190-5208 PHONE : (703) 481-2100                  FAX : (703) 481-3200</small>
	REVISIONS BY

WINDOW SCHEDULE					
WINDOW	WIDE	HEIGHT	TYPE	U-VALUE	SHGC COEFFICIENT
(W2)	63.5"	53.5"	2-WIDE CASEMENT WINDOW	0.26	0.25

LEGEND:  
 - EXISTING STUD WALL  
 - BEARING WALL



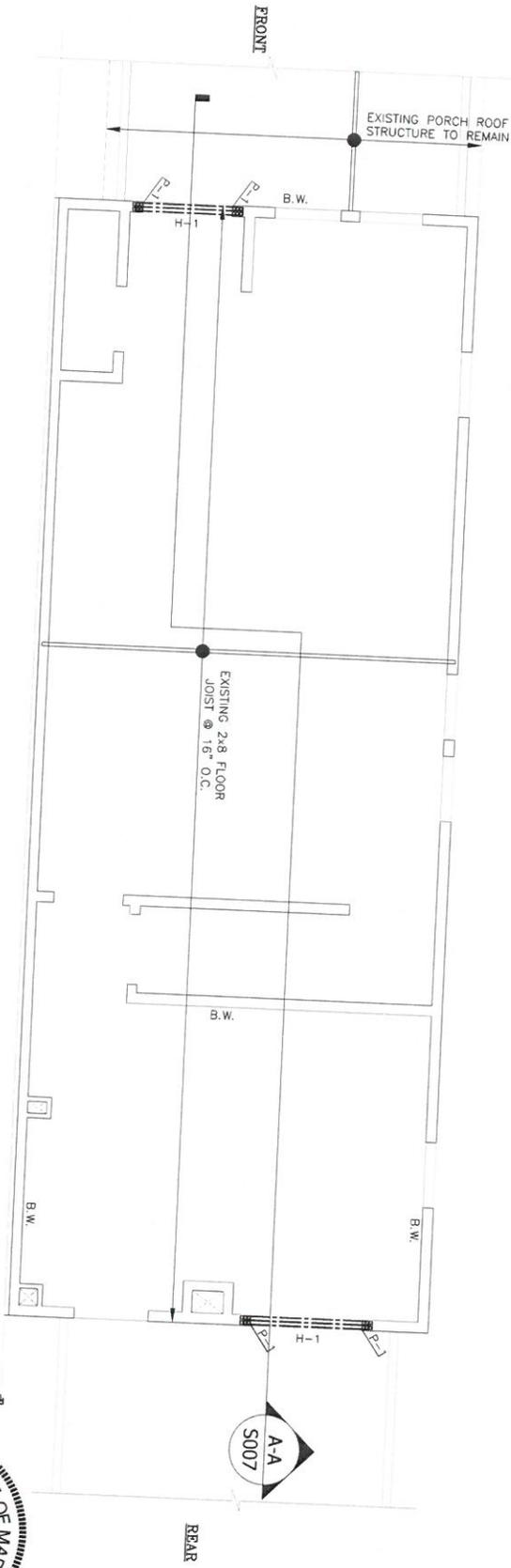
**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THE DOCUMENTS WERE PREPARED  
 OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NO. 14702 EXPIRATION DATE 12/01/21

AGU 05, 2020



SHEET <b>S004</b>	CLIENT: PELLA MID-ATLANTIC, INC.	PROJECT: 71 CONDUIT ST, ANNAPOLIS MD 21401	<b>CE</b> CONSULTING ENGINEERS, CORP. 11480 SUNSET HILLS ROAD SUITE 100 E RESTON, VA 20190-5208 PHONE: (703) 481-2100 FAX: (703) 481-3200
	DATE: AGU 05, 2020 SCALE: AS NOTED DRAWN: AP	PROPOSED SECOND FLOOR PLAN	



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**HEADER LEGEND:**  
H-1 - (2) 2x10 SPF #2

**POST LEGEND:**  
P-1 - (2) 2x4 JACKS + (1) 2x4 KING - USE 2 ROWS OF 16d NAILS @ 12" O.C. FROM BOU FACE TO CONNECT MULTI PLY STUDS

**LEGEND:**  
B.W. - BEARING WALL

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14702, EXPIRATION DATE 12/01/21.

AGU 05, 2020



<b>S005</b> SHEET	CLIENT: PELLA MID-ATLANTIC, INC.	PROJECT: 71 CONDUIT ST, ANNAPOLIS MD 21401	<b>CE CONSULTING ENGINEERS, CORP.</b> 11480 SUNSET HILLS ROAD SUITE 100 E RESTON, VA 20190-5208 PHONE: (703) 481-2100 FAX: (703) 481-3200
	DATE: AUG 05, 2020 SCALE: AS NOTED DRAWN: AP	SECOND FLOOR FRAMING PLAN	