



## City of Annapolis

Department of Planning & Zoning  
Historic Preservation Division  
145 Gorman Street, 3<sup>rd</sup> Floor  
Annapolis, MD 21401-2535

[HistPres@annapolis.gov](mailto:HistPres@annapolis.gov) • 410-260-2200 • Fax 410-263-1129 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

### Checklist Historic Preservation Commission Public Hearing Application

#### Schedule of meetings

Public Hearings are held on the second Tuesday of each month, at 7:00 PM, in the City Council Chamber, 160 Duke of Gloucester Street, Annapolis, Maryland. The applicant or his/her agent **must** attend.

#### General Information

**The applicant must schedule a meeting with the Chief of Historic Preservation Roberta Laynor at least 10 business days before the Public Hearing application deadline. The purpose of this meeting is to review application requirements and Design Review Manual guidelines as they relate to the proposed project.**

**Ms. Laynor can be reached at [rlaynor@annapolis.gov](mailto:rlaynor@annapolis.gov) or 410-260-2200 ext. 7791.**

#### Submittal requirements:

- 9 Collated Packets - in the following order: HPC application, permit application(s), existing condition photos, site plan, drawings, product specifications and any other information pertinent to your submittal.
- 1 PDF on a Thumb Drive or Disc of the entire application in the same order as above. (Revisions to applications will require the submittal of a newly revised PDF).

#### Each packet must contain the following:

1. Public Hearing Application.
2. Permit Application - Building Permit Application, Sign Permit Application, Fence Permit Application, Curb Cut Application, Application for Demolition, and/or Tree Removal Permit Application, **if applicable**.
3. Photographs – Labeled with address, date and description of photo - 4" x 6" or larger size color prints or color digital photos which contain the following:
  - General elevation photo of the entire front of building to place the project in context;
  - Elevation photos of all sides of the building where work will take place; and
  - Close-up photos showing additional details of all affected areas of the building or property.
4. Product cut sheets/specifications for all new or replacement material and methods. Use of the terms "in-kind" or "matching" is not sufficient.
5. A Site Plan and/or Property Survey to scale indicating property lines and lot dimensions, existing structures and locations of existing features and proposed changes.
6. **Scaled** dimensioned drawings (1/4" to 1') for new construction, additions, and major alterations to include: plans, sections, elevations and details. **Original scaled drawings only, no copies or reproductions. Dimensions must be exact, not estimated.** Drawings must be clear and well-marked. All drawings must be folded, not ROLLED.
7. Copy of approval, if applicable, from the Current Zoning Division for any project exceptions to City zoning codes.

#### And, if applicable:

Specifications for *mortar repointing and brick repair or replacement*.

Details of the old and new *mechanical equipment* in size, location and capacity.



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FOR CITY USE ONLY	
AGENDA #	_____
PROJECT #	_____
MEETING DATE	_____

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## HPC Public Hearing Application for Certificate of Approval

**Authority**

State of Maryland Land Use Code, Division I, Title 8 Historic Preservation  
 City of Annapolis Historic District Zoning Ordinance 21.56  
 Secretary of the Interior's Standards for Rehabilitation  
 Building in the Fourth Century: Annapolis Historic District Design Manual

Commercial       Residential

Building site address 126 Market Street

Provide complete information below. Mailing addresses and telephone numbers are *required*.

Property Owner Information		Contractor's Information	
Name	<u>Ed &amp; Kim Piasecki</u>	Name	<u>property owners</u>
Address	<u>23016 Turtle Rock Terrace</u>	Address	_____
City	<u>Clarksburg</u> State <u>MD</u> Zip <u>20871</u>	City	_____ State _____ Zip _____
Day phone	<u>240-286-7604 Ed</u> Cell <u>301-760-6733 Kim</u>	Day phone	_____ Cell _____
E-mail	<u>edpiape@gmail.com / kimbawp@gmail.com</u>	E-mail	_____

Authorizing Applicant Information		Architect/Engineer Information	
Name	_____	Name	_____
Address	_____	Address	_____
City	_____ State _____ Zip _____	City	_____ State _____ Zip _____
Day phone	_____ Cell _____	Day phone	_____ Cell _____
E-mail	_____	E-mail	_____

**Tax Credit**

Will you be applying for the City's Historic Preservation Tax Credit?  Yes  No

The tax credit is limited to those expenses having to do with the exterior features and limited interior life safety alterations of a contributing historic structure. The total estimate of expenses per application must exceed \$5,000. Applications must be submitted prior to start of work. Please refer to the Annapolis City Code [Section 6.04.230](#) – Historic Preservation Tax Credit.

**Easement**

Are there any easements or deed restrictions for the exterior of this building or the site?  Yes  No

If yes, submit a letter from the easement holder stating their approval of the proposed work.

**Description of Work Proposed** - Please be specific and include as much information as possible in the box below. Attach an extra sheet if more space is needed.

Replace existing board and batten shed with a new board and batten wood shed in different location, as per the attached plan. Modify design of patio that was previously approved under HPC 2019-068. Replace existing pressure-treated fence and gate with new fence and gate composed of wood rails and metal fence and gate. Remove existing pressure-treated porch railings and balusters as per attached plan. All areas of porch floor are less than 18" from the finished grade.

**Project Cost and Fees**

Estimated cost of the improvement \$ 10,000.00

**Filing Fee**

- Public Hearing Application based on 1% of estimated cost. Minimum \$35.00 – Maximum \$1,000.00
- "After the Fact" Public Hearing Application based on 1% of estimated cost. Minimum \$50.00 - Maximum \$2,000.00

Make check payable to *City of Annapolis*.

**Signature of owner or authorized agent**

The applicant certifies & agrees as follows: (1) that they are authorized by the property owner to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically approved by the Historic Preservation Commission; (5) that they are authorized by the property owner to grant City officials the right to enter onto the property for the purpose of inspecting the work permitted.

**A Notice of Public Hearing sign will be made available to the applicant. By signing this application, the applicant acknowledges that it is their responsibility to post the sign 15 days before the hearing.**

Owner/Applicant signature  Date 08/25/2020

FOR HPC USE ONLY

Rate x Estimated Cost \$ \_\_\_\_\_ Application received \_\_\_\_\_

Date paid \_\_\_\_\_ Amendment to COA # \_\_\_\_\_

HPC Approval \_\_\_\_\_ Date \_\_\_\_\_



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### Critical Area Lot Coverage Worksheet

The completion and approval of this Critical Area Lot Coverage Worksheet is required for development activities that occur within the City of Annapolis Critical Areas for projects that do not require issuance of a building or grading permit or review through another Planning and Zoning process but require compliance with City and/or State Critical Area laws. If planting mitigation is required due to the proposed project, the site plan or a separate landscape plan must indicate the location of the proposed planting and include a table that states the species of the plants and number of each species. Additional information may be required as applicable. This form shall accompany a site plan and any other relevant plans that reflect the proposed work. All documents are to be submitted to the Department of Planning and Zoning for review and approval. See attached sheet for a list of items considered "lot coverage".

**Applicant Information**

Owner of property Ed & Kim Piasecki  
 Mail address 23016 Turtle Rock Terrace  
 City Clarksburg ST MD Zip 20871  
 Phone(s) 240-286-7604 / 301-760-6733 Email address edpiape@gmail.com / kimbawp@gmail.com  
 Other Contact (Agent) \_\_\_\_\_  
 Phone(s) \_\_\_\_\_ Email address \_\_\_\_\_

**Property Information**

Project address 126 Market Street  
 Total site area (square footage) 3476.00 Zoning district 06  
 Critical Area designation IDA BEA  Yes  No

**Lot Coverage Information** (See attached sheet for a description of "lot coverage")

<i>Existing (square footage)</i>		<i>Proposed (square footage)</i>	
1. House	<u>1350.00</u>	1. House	<u>0</u>
2. Accessory structures	<u>55.00</u>	2. Accessory structures	<u>143.00</u>
3. Driveway	<u>614.00</u>	3. Driveway	<u>0</u>
4. Walkways	<u>0</u>	4. Walkways	<u>46.00</u>
5. Other	<u>181.00</u>	5. Other	<u>163.00</u>
Total Existing sf	<u>2200.00</u>	Total Proposed sf	<u>352.00</u>
Total Existing & Proposed	<u>2552.00</u>	Lot coverage percentage	<u>73%</u>

(Total Existing and Proposed Lot Coverage/Total Site Area)

**Authorization**

I certify these statements to be true and accurate and hereby grant City of Annapolis officials permission to enter my property for inspection.

Owner's Signature  Date 08/25/2020

City of Annapolis Authorized Signature

P&Z \_\_\_\_\_ Date \_\_\_\_\_

## Lot Coverage

“Lot coverage” means the percentage of a total lot or parcel that is:

1. Occupied by a structure, accessory structure, parking area, driveway, walkway, or roadway; or
2. Covered by gravel, stone, shell, impermeable decking, a paver, permeable pavement, or any manmade material.

“Lot coverage” does not include:

1. A fence or wall that is less than one foot in width that has not been constructed with a footer;
2. A walkway in the Buffer or expanded Buffer, including a stairway, that provides direct access to a community or private pier;
3. A wood mulch pathway; or
4. A deck with gaps to allow water to pass freely\*

\* Steps or stairways to decks are considered lot coverage.

The above information is taken from the Critical Area Commission Chesapeake and Atlantic Coastal Bays “*Local Government Assistance Guide – Lot Coverage*” approved September 3, 2008.



**City of Annapolis**  
**Department of Planning and Zoning**  
 145 Gorman Street Fl 3  
 Annapolis, MD 21401-2529

FOR CITY USE ONLY	
PERMIT #	_____
ISSUED	_____
EXPIRES	_____

[Permitting@annapolis.gov](mailto:Permitting@annapolis.gov) • 410-260-2200 • Fax 410-263-9158 • TDD use MD Relay or 711 • [www.annapolis.gov](http://www.annapolis.gov)

### Fence Permit Application

Per City Code [Section 17.34](#) and [21.60.070](#)

[Fee Schedule](#)

#### Site Information

Building Site Address 126 Market Street Zone C1

Property Tax ID # 020600006395755 Is this in the Historic District?  Yes  No

Residential  Commercial If commercial, name of business. \_\_\_\_\_

Is the above address with the

*If located within the Historic District, all proposed new fences and walls, and all proposed alterations to existing fences and walls, require the review and approval of the Historic Preservation Commission, prior to submitting for a fence permit.*

#### Property Owner Information

#### Applicant Information

Name <u>Ed &amp; Kim Piasecki</u>	Name <u>same</u>
Address <u>23016 Turtle Rock Terrace</u>	Address _____
City <u>Clarksburg</u> State <u>MD</u> Zip <u>20871</u>	City _____ State _____ Zip _____
Day phone <u>240-286-7604 Ed</u> Cell <u>301-760-6733 Kim</u>	Day phone _____ Cell _____
E-mail <u>edpiape@gmail.com / kimbawp@gmail.com</u>	E-mail _____

#### Contractor's Information

Name <u>property owner</u>	MHIC License # _____
Address _____	Expiration Date _____
City _____ State _____ Zip _____	State of MD Construction License # _____
Day phone _____ Cell _____	Expiration Date _____
E-mail _____	

**Submittal Requirements** (See page 6, attached). APPLICATION MUST BE SUBMITTED WITH THE ATTACHED CHECK LIST OR THE APPLICATION MAY NOT BE PROCESSED.

**Permit Type:**  New Work  Replace Existing  Repair  Alter Existing

Type of Fence (wood, masonry, stone, wire, metal, plastic, vinyl, etc) wood posts, metal fence and gate

Fence Length 13 feet Height 4 feet Value of Construction \$1000

#### Signature of owner or authorized agent

The applicant certifies & agrees as follows: (1) that they are authorized to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically described in this application; (5) that they grant the City officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices; (6) if you choose to appeal the issuance, decision, determination or order of this permit, the petition for appeal shall be in writing stating the grounds for appeal and shall be filed with the Building Board of Appeals within 15 calendar days of the issuance, decision, determination or order. Any right to appeal shall be waived if not timely filed.

Owner or Authorized Agent (print) Edwin R. Piasecki

Signature  Date 08/25/2020

#### FOR CITY USE ONLY

Final Approval \_\_\_\_\_ Date \_\_\_\_\_

App Fee Paid \_\_\_\_\_ Permit fee \_\_\_\_\_ Fee due \_\_\_\_\_



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**Supplement to Fence Permit Application  
 Plan Submittal Check List**

Building Site Address 126 Market Street Permit # \_\_\_\_\_

**FIVE (5) COPIES OF THE FOLLOWING must be submitted or application may not be processed. Six (6) copies for commercial.**

This permit application shall be accompanied by a scaled drawing showing the proposed location and dimensions of the fence or wall on the subject lot, and its relationship to the property lines, public rights-of-way, easements, utilities, existing structures, existing trees, and steep topography. The permit application shall also include construction drawings, pictures or diagrams sufficient to illustrate the overall design and materials to be used for the proposed fence or wall.

**Required Submittal – CONFIRM CORRECT # OF COPIES FOR EACH BELOW.**

<u>Attached</u>	<u>Not Applicable</u>	<u>Required Submittal (Confirm correct number of copies for each below)</u>
___	___	1. If located within Historic District – <i>HPC Certificate of Approval</i>
___	___	2. Fence Permit Application
___	___	3. Site Plan – <i>a scaled drawing showing the proposed location and dimensions of the fence or wall (including any gates) on the subject lot, and its relationship to the property lines, public rights-of-way, easements, utilities, existing structures, existing trees, and steep topography.</i>
___	___	4. Construction Drawings – <i>measured drawings showing the overall design and materials to be used, footing details, and architectural elevations of both sides of the proposed fence or wall (the finished side of the fence or wall must face out).</i>
___	___	5. Photographs – <i>in addition to the above documents: pictures showing the existing site conditions, and/or pictures of other fences or walls that are similar to the proposed.</i>
___	___	6. Tree Permit Application – <i>required for the removal of trees ≥ 5" in diameter located within the front or side yard setbacks adjacent to the City right-of-way.</i>
___	___	7. Other – <i>any other additional documentation sufficient to illustrate the overall design and materials to be used for the proposed fence or wall as deemed necessary by the City in order to review the proposed fence or wall for conformity with the City Code. Please describe below.</i>

PLEASE CAREFULLY READ THE ATTACHED REGULATIONS FROM THE CITY CODE CONCERNING FENCES AND WALLS WITHIN THE CITY OF ANNAPOLIS.

ALL FENCES AND WALLS MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANNAPOLIS CODES, WHETHER HEREIN SPECIFIED OR NOT.

**Signature of owner or authorized agent**

I attest that the above plans/drawings are either attached, or are not applicable as noted above.

Owner or Authorized Agent (print) Edwin R. Piasecki

Signature  Date 08/25/2020

NO WORK MAY BEGIN UNTIL YOU HAVE RECEIVED YOUR FENCE PERMIT CARD FOR POSTING.



**City of Annapolis**  
**Department of Planning and Zoning**  
 145 Gorman Street 3<sup>rd</sup> Floor  
 Annapolis, MD 21401-2517

FOR CITY USE ONLY	
PROJECT #	_____
ISSUED	_____
BY	_____

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### Zoning Certificate

Site address 126 Market Street Suite/Unit # \_\_\_\_\_  
 Property Tax ID # 020600006395755 Lot # 1208  
 Specific Use of Property Residential

Is above address within the Historic District area?  Yes  No Waterfront?  Yes  No  
 Within the floodplain?  Yes  No Within the Critical Area?  Yes  No

If property is located in the Critical Area, please fill out page two of this application

Property Owner Information	Applicant Information
Name <u>Ed &amp; Kim Piasecki</u>	Name <u>same</u>
Address <u>23016 Turtle Rock Terrace</u>	Address _____
City <u>Clarksburg</u> State <u>MD</u> Zip <u>20871</u>	City _____ State _____ Zip _____
Day phone <u>240-286-7604 Ed</u> Cell <u>301-760-6733 Kim</u>	Day phone _____ Cell _____
E-mail <u>edpiape@gmail.com / kimbawp@gmail.com</u>	E-mail _____

Describe proposed work (Please submit two copies of a site plan and plans / elevations of proposed work):

Replace existing board and batten shed with a new board and batten wood shed in different location. Modify design of patio that was previously approved under HPC 2019-068. Replace existing pressure-treated fence and gate with new fence and gate composed of wood rails and metal fence and gate. Remove existing pressure-treated porch railings and

#### Signature of owner or authorized agent

The applicant certifies & agrees as follows: (1) that they are authorized to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically described in this application; (5) that they grant City officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices; (6) if you choose to appeal the issuance, decision, determination or order of this certificate, the petition for appeal shall be in writing stating the grounds for appeal and shall be filed with the Zoning Board of Appeals within 30 calendar days of issuance, decision, determination or order. Any right to appeal shall be waived if not timely filed.

Owner or Authorized Agent (print) Edwin R. Piasecki  
 Signature  Date 08/25/2020

#### FOR CITY USE ONLY

Permitted use \_\_\_\_\_ Use subject to standards \_\_\_\_\_  
 Special exception \_\_\_\_\_ Zoning District \_\_\_\_\_  
 Permit Required  Yes  No  
 Reviewed by \_\_\_\_\_ Date \_\_\_\_\_  
 P&Z final approval \_\_\_\_\_ Date \_\_\_\_\_

## Critical Area Lot Coverage Worksheet with Zoning Certificate

The completion and approval of this Critical Area Lot Coverage Worksheet is required for development activities that occur within the City of Annapolis Critical Areas for projects that do not require issuance of a building or grading permit or review through another Planning and Zoning process but require compliance with City and/or State Critical Area laws. If planting mitigation is required due to the proposed project, the site plan or a separate landscape plan must indicate the location of the proposed planting and include a table that states the species of the plants and number of each species. Additional information may be required as applicable. This form shall accompany a site plan and any other relevant plans that reflect the proposed work. All documents are to be submitted to the Department of Planning and Zoning for review and approval. See information below for a list of items considered "lot coverage."

### Property Information

Project Address 126 Market Street Total Site Area (Square Footage) 3476.00  
 Critical Area Designation IDA Zoning District 06

### Lot Coverage Information (See attached sheet for a description of "lot coverage")

Existing (Square Footage):	Proposed (Square Footage):
1. House <u>1350.00</u>	1. House <u>0</u>
2. Accessory Structures <u>55.00</u>	2. Accessory Structures <u>143.00</u>
3. Driveway <u>614.00</u>	3. Driveway <u>0</u>
4. Walkways <u>0</u>	4. Walkways <u>46.00</u>
5. Other <u>181.00</u>	5. Other <u>163.00</u>
<i>Total sf of:</i>	<i>Lot Coverage:</i>
Existing Lot Coverage Items <u>2200.00</u>	Proposed Items <u>352.00</u>
Existing and Proposed Lot Coverage <u>2552.00</u>	Percentage <u>73%</u>
(Total Existing and Proposed Lot Coverage/Total Site Area)	

### Authorization

*I certify these statements to be true and accurate and hereby grant City of Annapolis officials permission to enter my property for inspection.*

Owner Signature  Date 08/25/2020

### Lot Coverage

"Lot coverage" means the percentage of a total lot or parcel that is:

1. Occupied by a structure, accessory structure, parking area, driveway, walkway, or roadway; or
2. Covered by gravel, stone, shell, impermeable decking, a paver, permeable pavement, or any manmade material.

"Lot coverage" does not include:

1. A fence or wall that is less than one foot in width that has not been constructed with a footer;
2. A walkway in the Buffer or expanded Buffer, including a stairway, that provides direct access to a community or private pier;
3. A wood mulch pathway; or
4. A deck with gaps to allow water to pass freely\*

\*Steps or stairways to decks are considered lot coverage.

*The above information is taken from the Critical Area Commission Chesapeake and Atlantic Coastal Bays "Local Government Assistance Guide – Lot Coverage" Approved September 3, 2008.*

126 Market Street



View of 126  
Market Street  
from Market Street

126 Market Street



View of backyard showing old shed to be demolished.

126 Market Street



View of backyard. Shows area of proposed new shed.

126 Market Street



View of rear of house from backyard.

126 Market Street



View of porch along right side of house.  
Proposed removal of railings & balusters.

126 Market Street



Existing pressure-treated fence & gate.

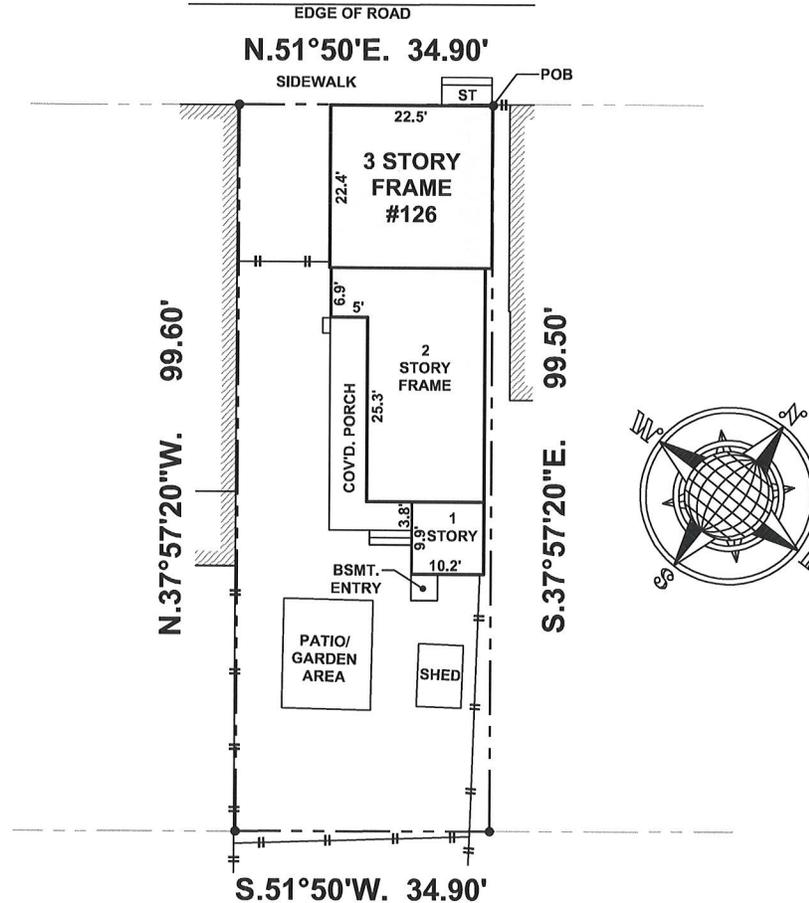
# Landtech Associates, Inc.

10260 Old Columbia Road Rivers Center - Suite "J"  
Columbia, Md. 21046

Phone: 410-290-8099 Fax: 410-290-8299

NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS

## Market Street



**NOTES:**

- 1) This plat is of benefit to the consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
- 2) This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
- 3) This plat does not provide for the accurate identification of property lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
- 4) No title report furnished.
- 5) Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
- 6) Property subject to any / all rights-of-way, easements, and / or covenants of record and / or imposed by law.



License Expires: 3/28/2020

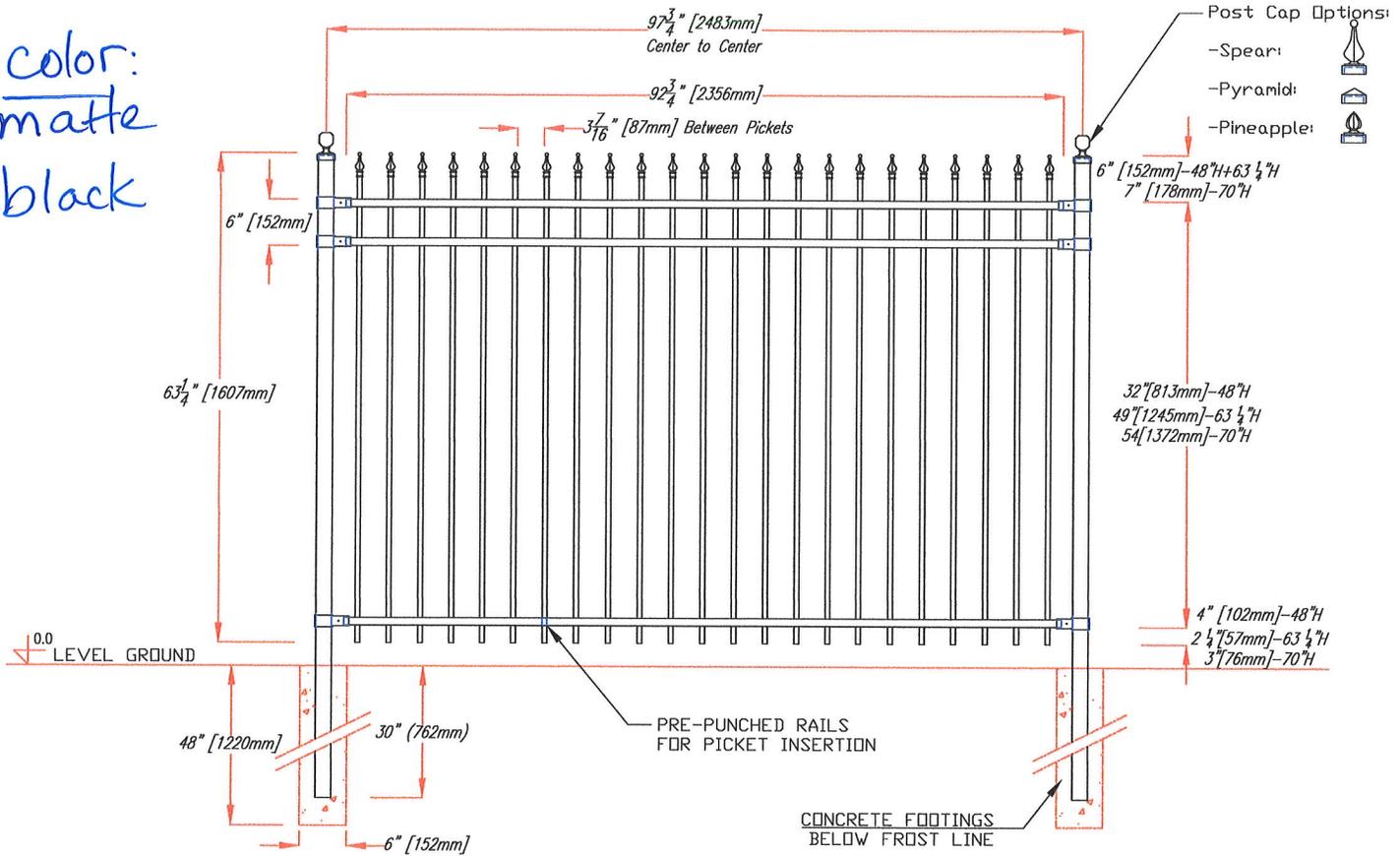
Certification: This is to certify that the improvements indicated herein are located as shown.

*Graden A. Rogers*

GRADEN A. ROGERS- Propt. L.S. MD. Lic. No 119

LIBER: 10343	FOLIO: 750	<b>126 Market Street</b>			
LOT:	BLOCK:			SECTION:	PLAT:
PLAT ENTITLED:					
RECORDED IN: Anne Arundel County, Maryland		SCALE: 1"=20'	CASE NO:		
PLAT BOOK:	PAGE:	PLAT NO:	DATE: 8/2/18      JOB NO: LT2181263		

color:  
matte  
black



**POST RAILS & PICKETS**

- Cold Formed Steel Tubing Exterior and Interior Galvalume Coating
- Chromate Conversion Coating
- Electrostatically Applied
- Thermally Bonded Polyester Powder Coating
- Minimum Film Thickness 2.5 mm
- E-coated

**POSTS** (will be wood)

- 2" x 2" (51mm x 51mm) 16 Gauge
- Standard Post Spacing 97 3/4" (2483mm) O.C.

**RAILS**

- 1" x 1" (25mm x 25mm) 14 Gauge

**PICKETS**

- 5/8" x 5/8" (16mm x 16mm) 18 Gauge

**FITTINGS**

- 15 Gauge Stamped

**WELDS**

- Stainless Steel

**STANDARD PANEL WIDTH**

- 92 3/4" (2356mm)

**STANDARD PANEL HEIGHTS**

- 48" (1219mm)
- 63 1/4" (1607mm)
- 70" (1778mm)

**STANDARD SINGLE GATE OPENINGS INSIDE POSTS**

- 40" (1016mm)
- 48 1/4" (1226mm)
- 56 1/4" (1429mm)
- Optional Lock Box Available

**STANDARD COLOURS**

- High Gloss Black, Flat Black, Textured Black.

**ADDITIONAL COLOURS**

- White, Brown, Green.

**WARRANTY 10 YEARS**

126 Market St  
spec sheet for shingles on roof  
of shed.



**Cambridge**<sup>®</sup>

IKO.COM



The Trusted Solution  
for a Beautiful Roof.



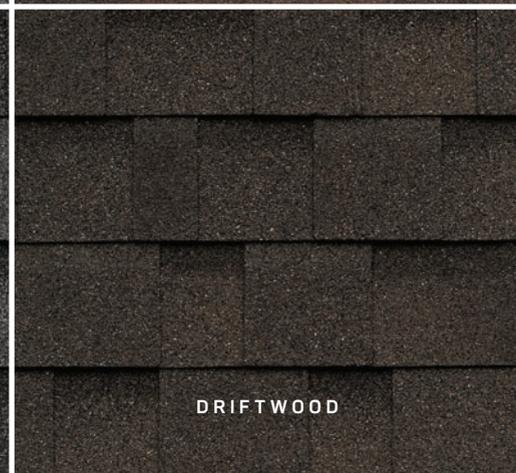
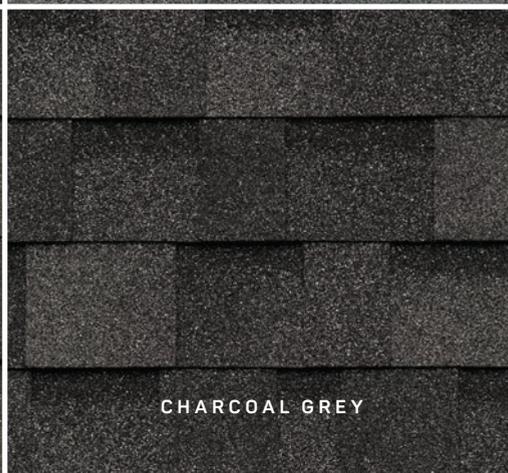
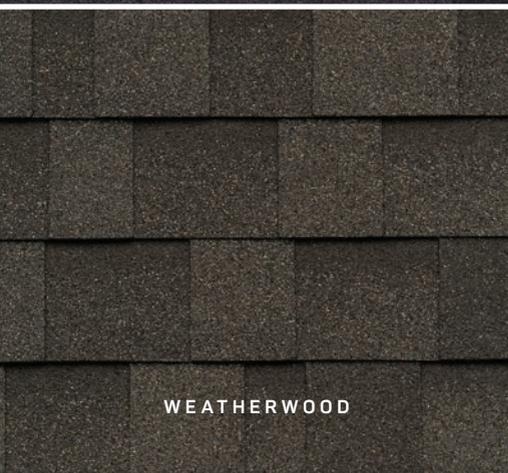
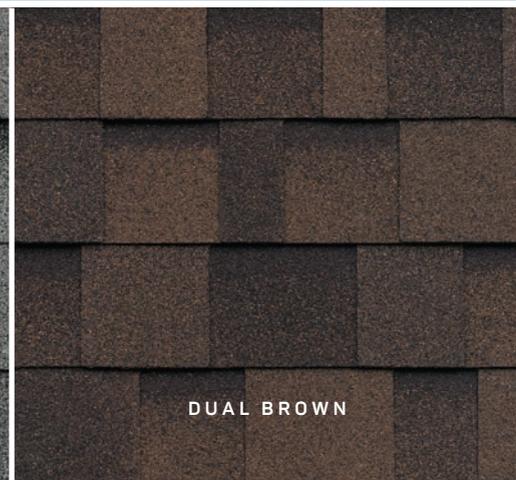
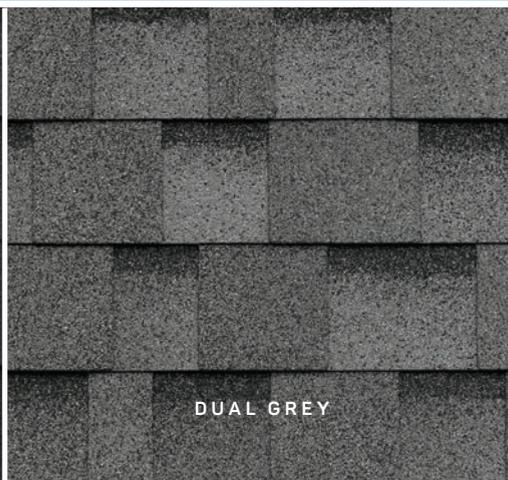
ARCHITECTURAL

# BEAUTY You Can See. QUALITY You Can Feel.

**NOW THAT IT'S TIME TO REPLACE YOUR ROOF, WHY TAKE ANYTHING FOR GRANTED?** We never do. Since 1951, IKO has been protecting American homes and families just like yours against the elements.

Whether it's elegant and sophisticated or laid-back and casual, or somewhere in-between, **IKO Cambridge Architectural shingles** come in a wide range of stunning color blends to express your personality, reflect your taste and potentially boost your home's resale value too.

Their modern, laminated two-piece design provides the depth, dimension and texture of genuine wood shakes for an upscale appearance without the upscale price tag. Now unleash your exterior designer and dress up your home with an exciting new look, for less than you might expect.



# PERFORMANCE You Can Trust.

- 1 **LAMINATE ADHESIVE.** Five strips of our tough, construction-grade adhesive are used to laminate the shim to the tooth.
- 2 **BUILT-IN ALGAE RESISTANCE.** Special colorfast granules embedded in the shingles' surface help inhibit the growth of blue-green algae that can cause unattractive black stains, streaks and discoloration.
- 3 **CORE STRENGTH.** Our resilient fiberglass mat is coated top and bottom with weathering asphalt, then surfaced with colored granules. It's heavy-duty for exceptional durability and structural integrity.
- 4 **EXCEPTIONAL BONDING.** IKO's Fastlock™ sealant on the shingles' bottom edge gets extra-tacky when activated by the sun's heat. This creates a strong bond to help ensure maximum protection against wind uplift, blow-off and water penetration.

## THE IKO ADVANTAGE

Limited Warranty <sup>1</sup>	Limited Lifetime
Iron Clad Protection <sup>1</sup>	10 Years
Limited Wind Warranty <sup>1</sup>	110 mph (177 km/h)
Limited High-Wind Warranty Upgrade <sup>1,2</sup>	130 mph (210 km/h)
Blue-Green Algae Resistant <sup>1</sup>	Yes

## PRODUCT SPECIFICATIONS<sup>3</sup>

Length	40 7/8 in (1038 mm)
Width	13 3/4 in (349 mm)
Exposure	5 7/8 in (149 mm)
Coverage per Bundle	33 1/3 ft <sup>2</sup> (3.1 m <sup>2</sup> )
<i>(3 bundles = 1 full square = 100 sq ft coverage)</i>	

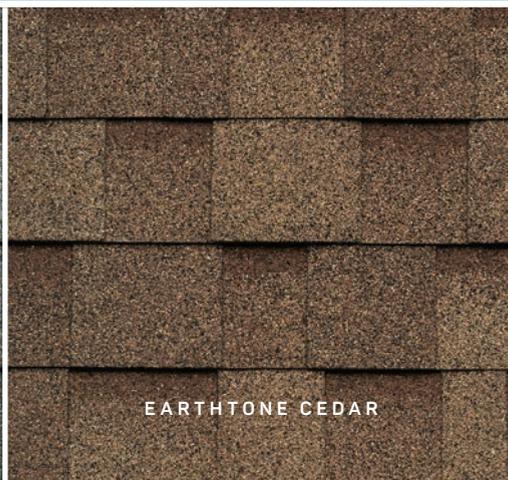
## STANDARDS<sup>4</sup>

ASTM D3462, ASTM D3018, ASTM D3161 – Class F, ASTM D7158 – Class H, ASTM E108/UL 790 – Class A.

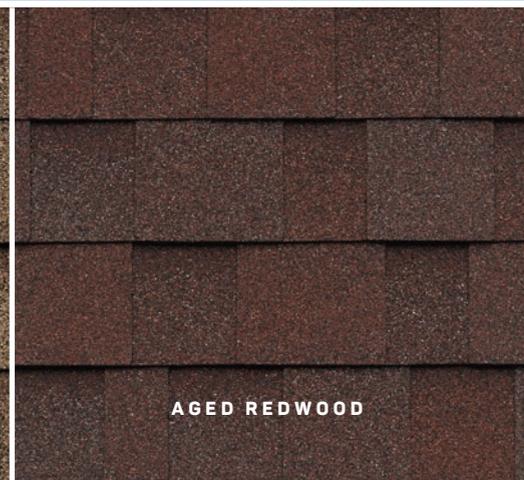
<sup>1</sup>See Limited Warranty at [IKO.com](http://IKO.com) for complete terms, conditions, restrictions and application requirements. Shingles must be applied in accordance with application instructions and local building code requirements. <sup>2</sup>High-wind application is required. <sup>3</sup>All values shown are approximate. <sup>4</sup>Products are developed with reference to these standards.



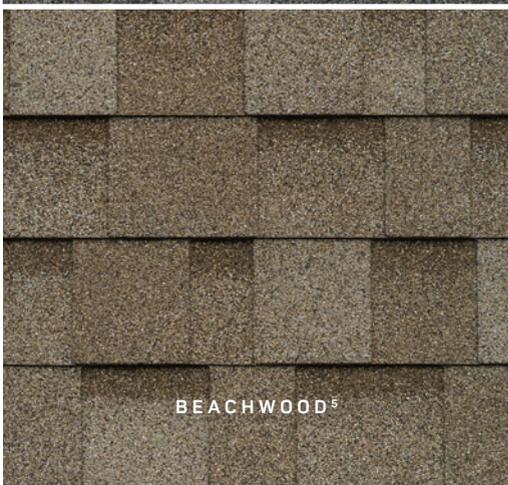
HARVARD SLATE



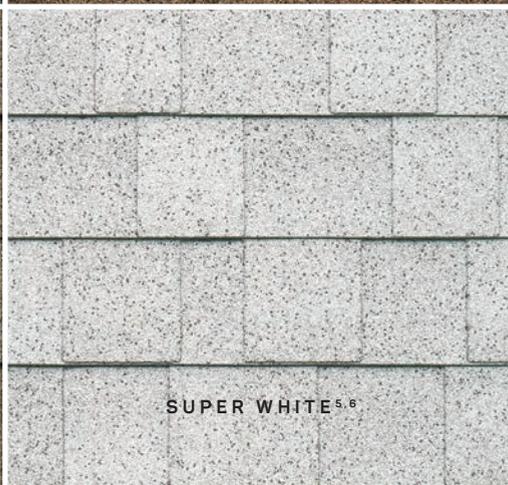
EARTHTONE CEDAR



AGED REDWOOD



BEACHWOOD<sup>5</sup>



SUPER WHITE<sup>5,6</sup>

**IMPORTANT!** To ensure complete satisfaction, please view several full-size shingles and an actual roof installation prior to final color selection as the shingle swatches and photography shown online, in our brochures and in our app may not accurately reflect shingle color and do not fully represent the entire color blend range, nor the impact of sunlight.

<sup>5</sup>Limited availability in U.S.

<sup>6</sup>Super White is CRRC® listed in U.S.



# PRO4 INTEGRATED ROOFING ACCESSORIES

Shingles are your home's first line of defense, but they protect, perform and look their best installed with the recommended IKO PRO4 Integrated Roofing Accessories shown below.



DECK PROTECTION	SYNTHETIC UNDERLAYMENT	ROOF STARTERS	CAPPING SHINGLES
-----------------	------------------------	---------------	------------------

## 1. IKO GoldSeam™ Roof Sealing Tape

**1a.** Apply where the fascia and eaves meet.

**1b.** Apply over seams when sealing the deck using synthetic underlayment.

### StormShield®

**1c.** Apply under shingled roofs to prevent water infiltration due to ice dams and wind-driven rain.

## 2. Stormtite®

It's IKO's economical synthetic underlayment choice. Stronger than conventional felts, Stormtite installs easily, even in cool weather, due to its light weight. Stormtite is the perfect combination of strength and flexibility.

## 3. Leading Edge Plus™ or EdgeSeal®

Apply starter shingles with IKO's own high-strength thermally activated sealant or use the double-sided starter roll at eaves and rakes to help ensure wind resistance at that critical first course of shingles.

## 4. Hip and Ridge Hip & Ridge 12™

These perforated traditional hip and ridge shingle offerings are available in colors that pair with our most popular laminate shingles. Installation is super easy by simply bending and nailing in place.



Visit us online at: [IKO.COM](http://IKO.COM)

To find out more about Cambridge Architectural shingles or additional IKO products, please talk to an IKO sales representative or a professional roofing contractor, or contact IKO directly.

**United States 1-888-IKO-ROOF (1-888-456-7663)**

**Canada 1-855-IKO-ROOF (1-855-456-7663)**

The information in this literature is subject to change without notice. We assume no responsibility for errors that may appear in this literature.

126 market st

spec for wood on shed.

NELMA GRADE:

## STANDARD

NELMA's Eastern White Pine grade rules define the limiting characteristics (knots, holes, splits, etc.) allowed in each grade (quality level). While the rules describe the poorest piece permitted within a grade, it is unlikely the maximum size or number of these characteristics would be present in any board.

Standard grade is highly serviceable and used in a wide variety of applications that take advantage of the full range of Eastern White Pine characteristics.

This grade allows for knots of any quality, in sizes ranging from  $2 \frac{3}{8}$ " red knots and  $1 \frac{3}{4}$ " black knots in a 4" board, to 6" red knots and 4" black knots in a 12" board. Knot holes must be no larger than  $\frac{1}{4}$  the width to a maximum of 2". Holes smaller than the maximum size are allowed, however, within any 8 linear feet the total combined size of the smaller holes must not exceed the maximum size hole allowed. Checks may be  $\frac{1}{4}$  the length of the board (not to exceed 3'). Shake can be through, up to  $\frac{1}{3}$  the length of the board. Pockets are large. Splits can be twice the width of the board but cannot exceed  $\frac{1}{6}$  the length. Edge breaks are allowed. Pitch can be heavy. Allowed stain is heavy. Wane is limited to the back face. Skip is on the reverse face and can be on one edge and is limited to 20% of the pieces. Seams are up to  $\frac{1}{6}$  the length of the board. Unsound wood is combined from both faces; if advanced decay is at the maximum allowed of 10% (no more than 1% on the best face) no other decay is allowed on the piece. The grade also permits worm holes.

Refer to the NELMA Standard Grading Rules for Northeastern Lumber booklet for complete detailed information on all Eastern White Pine lumber grades.



[www.nelma.org](http://www.nelma.org)

NELMA GRADE:  
**STANDARD**

## **EASTERN WHITE PINE (PINUS STROBUS)**

Eastern White Pine is grown throughout the Northeastern region of the U.S. and manufactured in a wide range of grades and sizes. Favored for its desirable characteristics and manufacturing qualities, it has a fine grain and uniform texture, shapes easily for patterns and profiles, stays true to form, and holds finishes very well. This species is a favorite for siding, paneling, wainscoting, furniture, millwork, moulding, and a variety of trim. For centuries, Eastern White Pine has been the mainstay in quality construction and fine woodworking.

[www.EasternWhitePine.org](http://www.EasternWhitePine.org)

## **Northeastern Lumber Manufacturers Association**

272 Tuttle Road  
Cumberland, Maine 04021

**Phone:** (207) 829-6901

**Fax:** (207) 829-4293

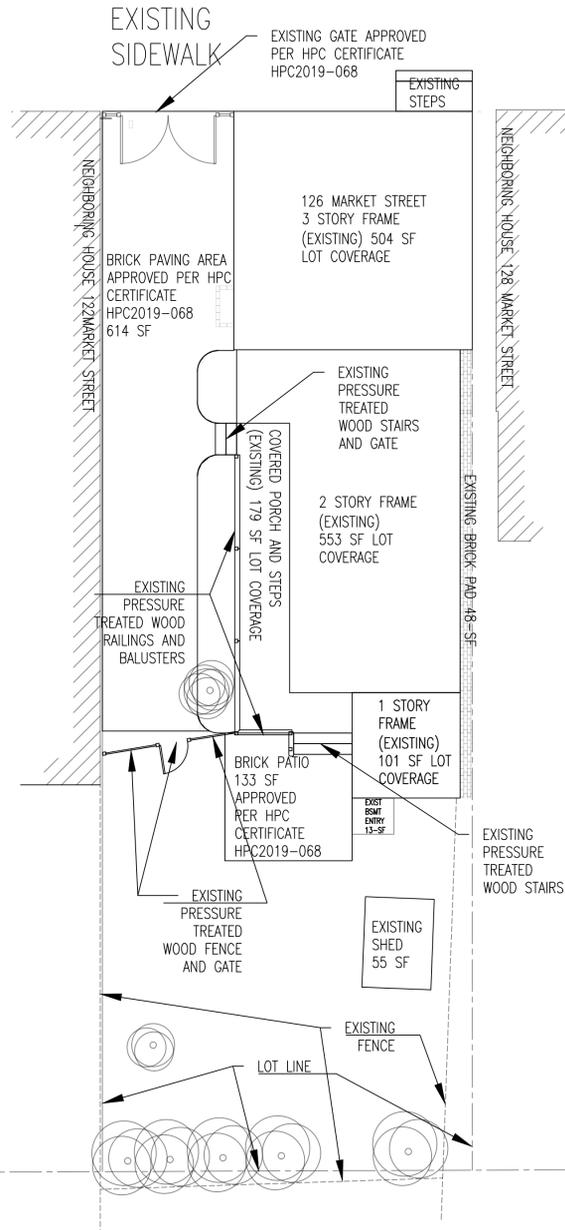
[info@nelma.org](mailto:info@nelma.org)

# **NELMA<sup>®</sup>**

Established in 1933, The Northeastern Lumber Manufacturers Association (NELMA) is the rules writing agency for Eastern White Pine Lumber and the grading authority for Eastern Spruce, Balsam Fir, Spruce Pine Fir (SPFs) species grouping, and other commercially important eastern softwood lumber species.

[www.nelma.org](http://www.nelma.org)

MARKET STREET

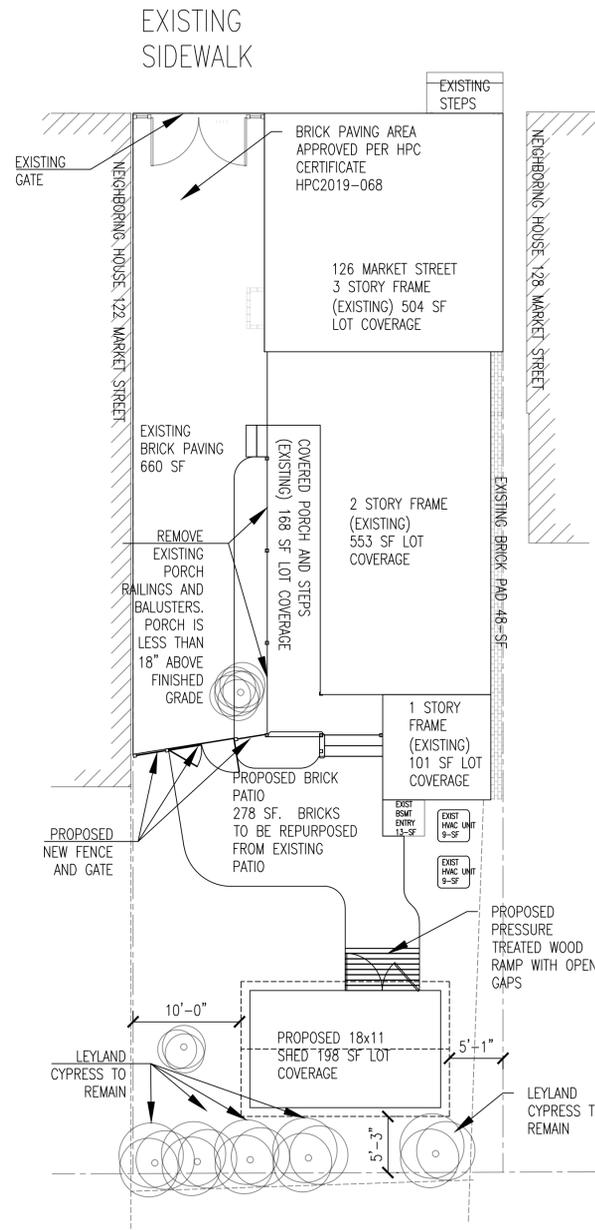


EXISTING/PREVIOUSLY APPROVED LOT COVERAGE CALCULATION

TOTAL LOT AREA = 3476 SQ FT  
 EXISTING BUILDING COVERAGE = 1350 SQ FT  
 EXISTING BRICK PAD = 48  
 PREVIOUSLY APPROVED BRICK PATIO = 133 SQ FT  
 EXISTING SHED COVERAGE = 55 SQ FT  
 PREVIOUSLY APPROVED BRICK PAVING = 614 SQ FT  
 TOTAL EXISTING AND PREVIOUSLY APPROVED COVERAGE = 2200 SQ FT (REPRESENTS 63% OF TOTAL LOT AREA) (CRITICAL AREA LOT COVERAGE ALLOWS FOR A MAXIMUM OF 75%)

EXISTING/PREVIOUSLY APPROVED CONDITIONS  
 1/8" = 1'-0"

MARKET STREET



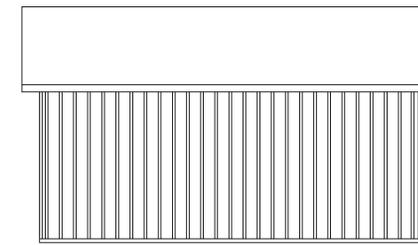
PROPOSED LOT COVERAGE CALCULATION

TOTAL LOT AREA = 3476 SQ FT  
 EXISTING BUILDING COVERAGE = 1350 SQ FT  
 EXISTING BRICK PAD = 48  
 PROPOSED BRICK PATIO = 278 SQ FT  
 PROPOSED SHED COVERAGE = 198 SQ FT  
 EXISTING BRICK PAVING = 660 SQ FT  
 EXISTING HVAC UNIT COVERAGE 18 SQ FT  
 TOTAL CURRENT AND PROPOSED COVERAGE = 2552 SQ FT (REPRESENTS 73% OF TOTAL LOT AREA) (CRITICAL AREA LOT COVERAGE ALLOWS FOR A MAXIMUM OF 75%)

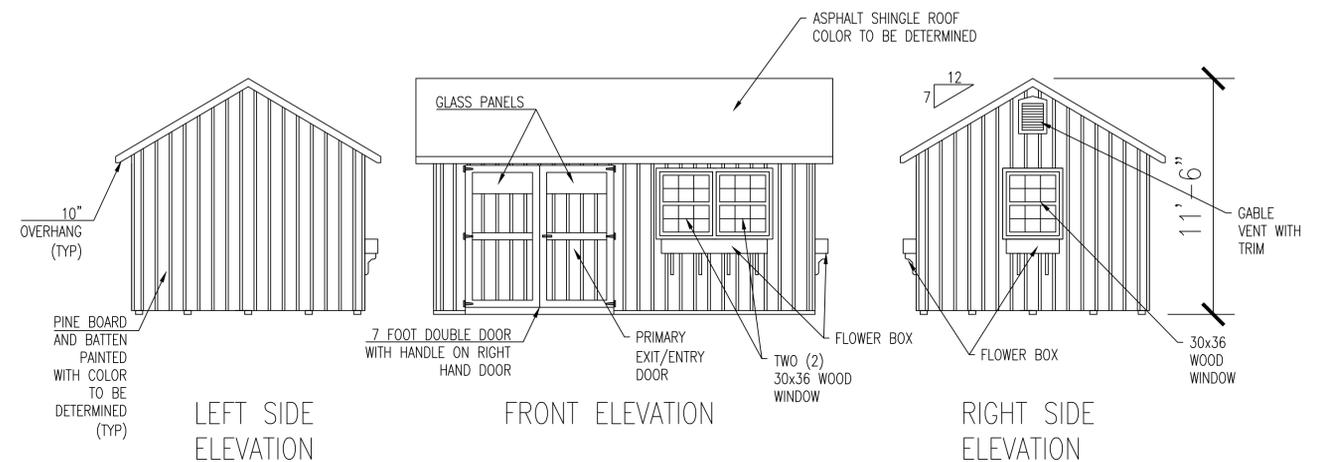
PROPOSED CONDITIONS  
 1/8" = 1'-0"

SHED SPECIFICATIONS

SHED DIMENSIONS 11'-0" X 18'-0"  
 WHITE PINE BOARD AND BATTEN-PAINTED  
 2X4 FRAMING 16" OC ALL AROUND  
 1/2" PLYWOOD ROOF SHEATHING  
 PRESSURE TREATED 4X4 BASE RAILS  
 WOODEN WINDOWS HAVE INDIVIDUAL PANES OF GLASS WITH WOODEN DIVIDERS  
 FLOWER BOXES ARE PINE  
 30 YEAR ASPHALT SHINGLES



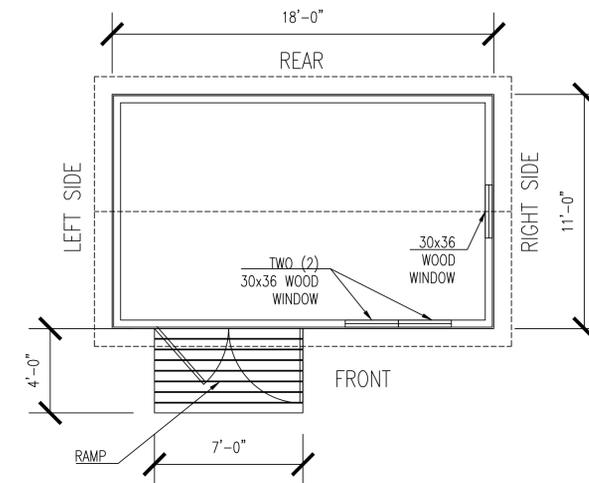
REAR ELEVATION



LEFT SIDE ELEVATION

FRONT ELEVATION

RIGHT SIDE ELEVATION



PLAN VIEW

PROPOSED SHED  
 1/4" = 1'-0"

SUBMITTED BY:  
 EDWIN R. PIASECKI, PE, 240-286-7604  
 AND KIM W. PIASECKI, 301-760-6733

PLAN NAME:  
 PROPOSED EXTERIOR MODIFICATIONS

PROPERTY:  
 126 MARKET STREET,  
 ANNAPOLIS, MD

No.	Revision/Issue	Date

Project	Sheet
8-26-20	SITE-1
Scale	1/8" = 1'-0"