



City of Annapolis Form-Based Code Discussion



Agenda

1. FBC's 101
2. Application
3. Design
4. Implementation
5. Administration
6. Q & A



Today's Euclidean Zoning

Use/Density

Management

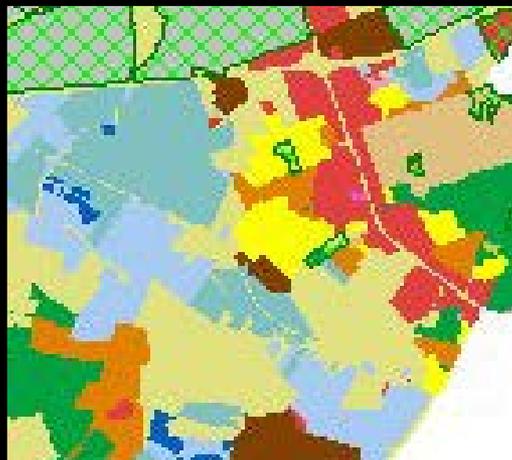
Form

Balancing Place-Related Concerns

Form



Use/Density



Management



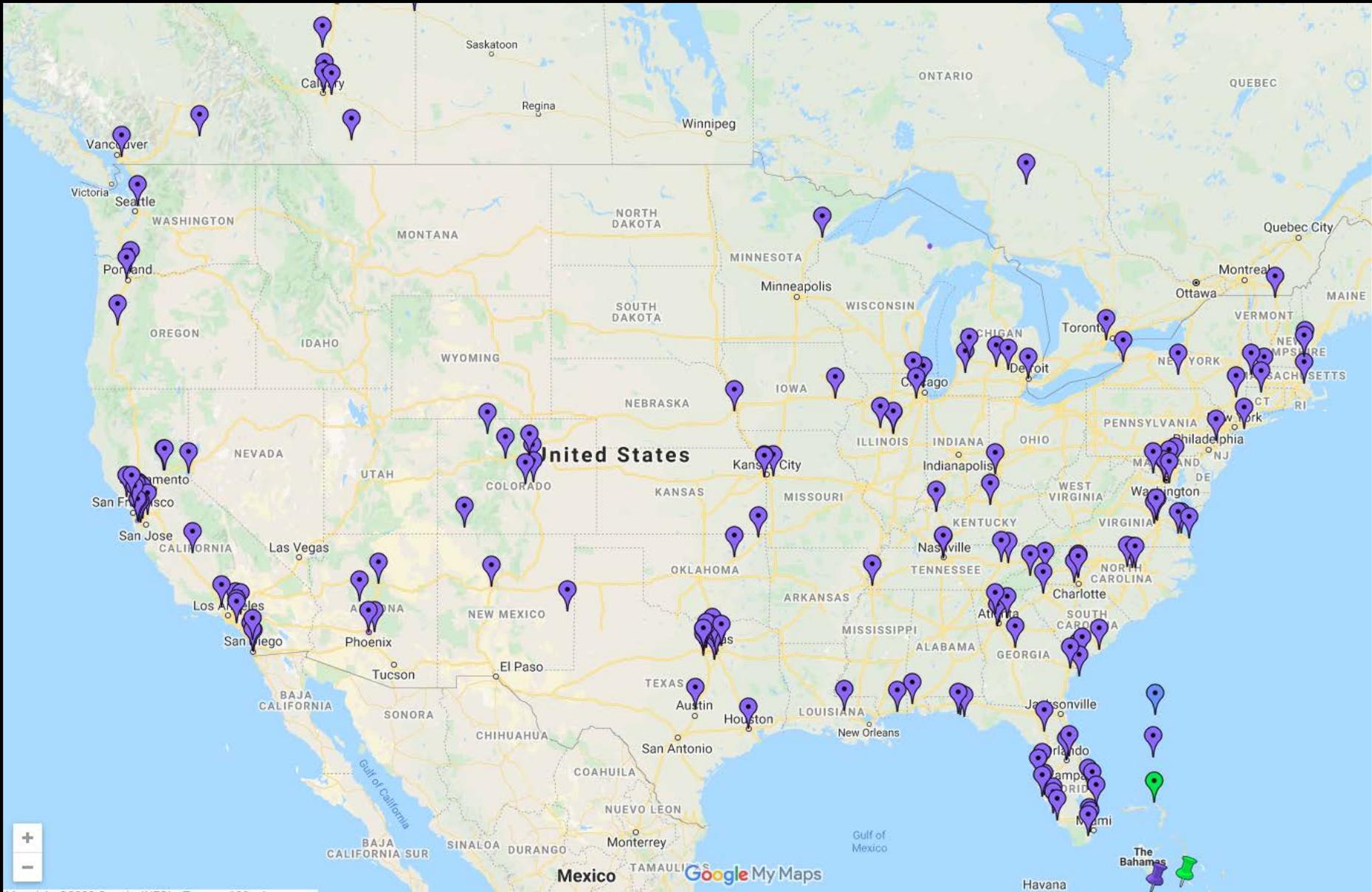
Balance – Form-Based Codes

The diagram consists of three colored squares arranged horizontally. On the left is a large brown square containing the word 'Form'. To its right is a smaller green square containing the word 'Management'. To the right of the green square is a smaller blue square containing the word 'Use'. The squares are positioned such that they appear to be part of a sequence or process flow.

Form

Management

Use



A new
form-based code
will not solve every important
local issue or change
everything by itself

Form-Based Codes

A method of regulating development to achieve a specific urban form.

Form-based codes create a predictable public realm by controlling physical form primarily, with a lesser focus on land use, through city or county regulations.

- Form-Based Codes Institute



Mixed-Use
'Medium' Density Corridor



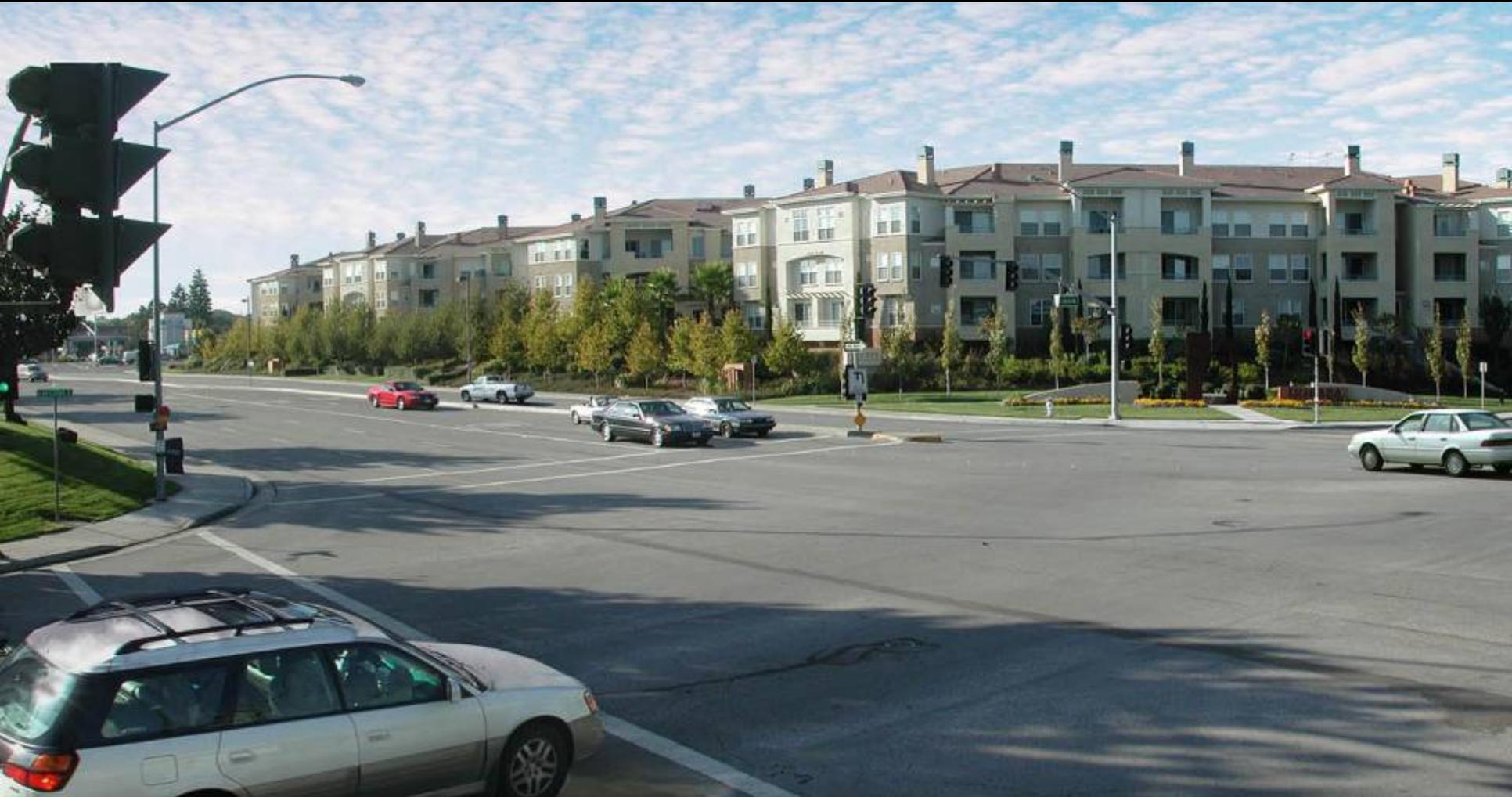
Mixed-Use
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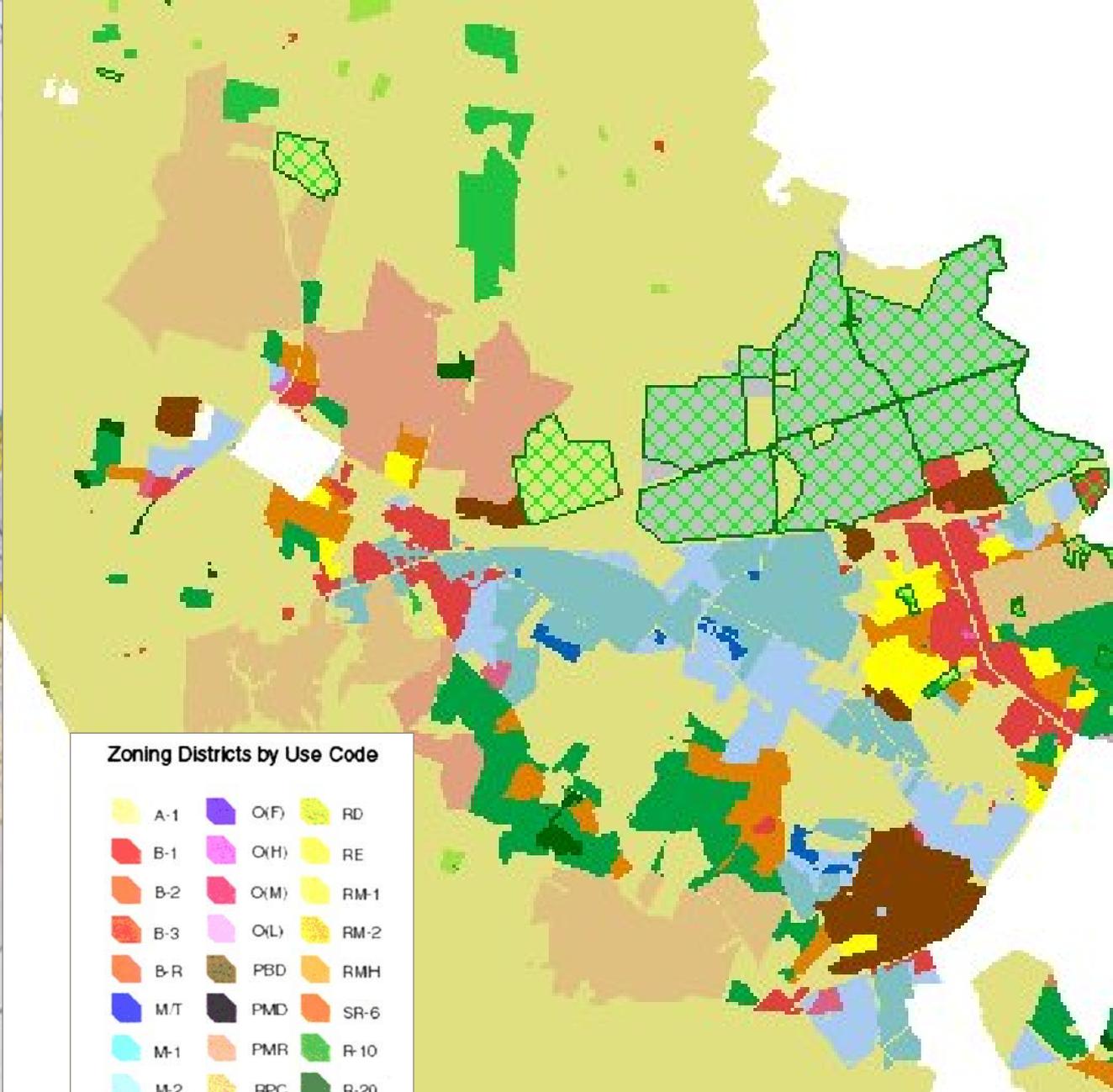
Policy Goals
vs.
Regulatory Instruments

Well-intentioned policy statement: Infill and develop in existing urbanized areas. Build affordable multi-family housing near transportation corridors.



Well-intentioned policy statement: Infill and develop in existing urbanized areas. Build affordable multi-family housing near transportation corridors.





Zoning Districts by Use Code

- | | | |
|------|-------|------|
| A-1 | O(F) | RD |
| B-1 | O(H) | RE |
| B-2 | O(M) | RM-1 |
| B-3 | O(L) | RM-2 |
| B-R | PBD | RMH |
| M/T | PMD | SR-6 |
| M-1 | PMR | R-10 |
| M-2 | RPC | R-20 |
| SRR1 | RRS | FED |
| SRR3 | RR7.5 | |



Scale: 1 inch = 1 mile



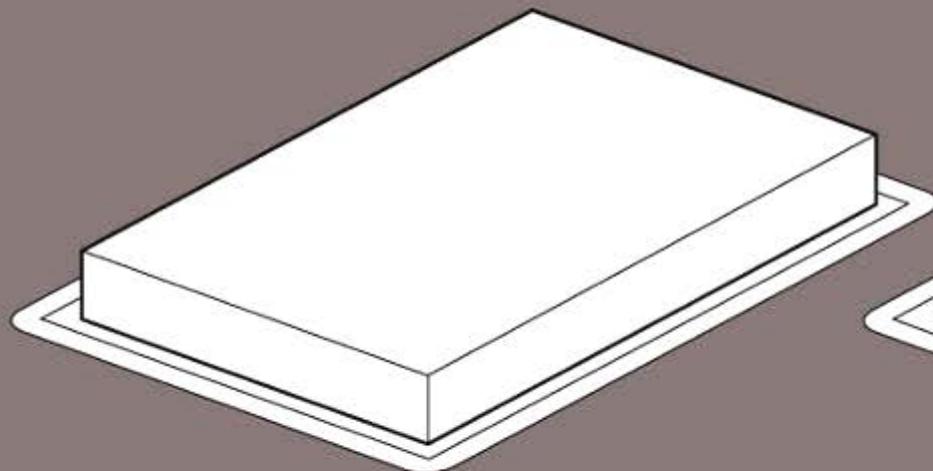
Dover Kohl and Partners



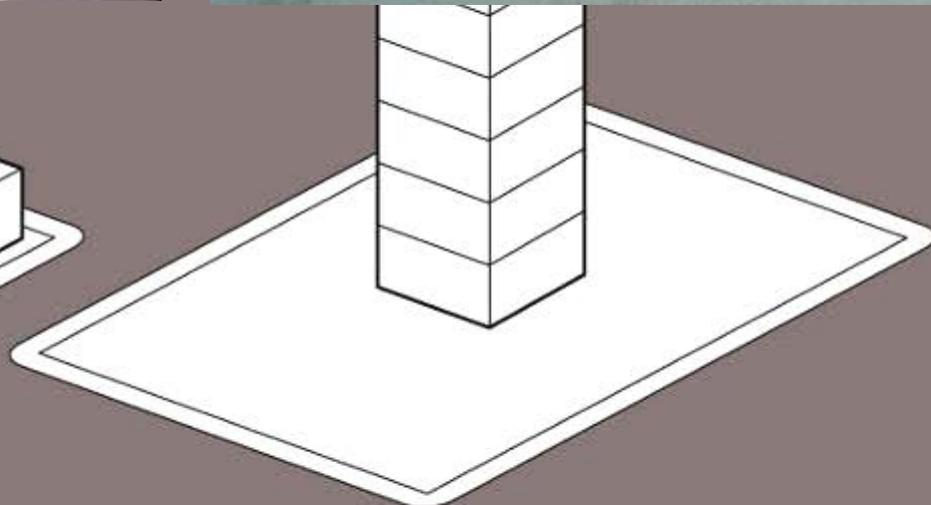


Zoning Districts by Use Code

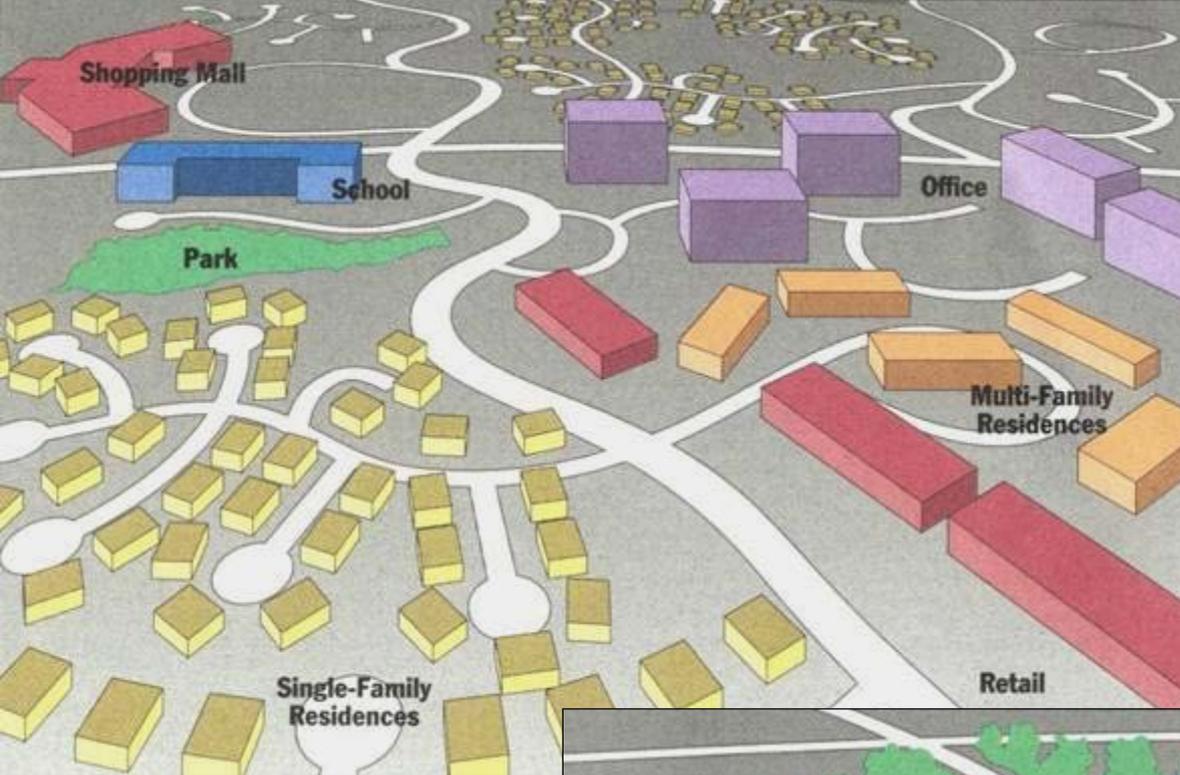
	A-1		O(F)		RD
	B-1		O(H)		RE
	B-2		O(M)		RM-1
	B-3		O(L)		RM-2
	B-R		PBD		RMH
	M/T		PMD		SR-6
	M-1		PMR		R-10
	M-2		RPC		R-20
	SRR1		RRS		FED
	SRR3		RR7.5		



FAR 1.0



FAR 1.0



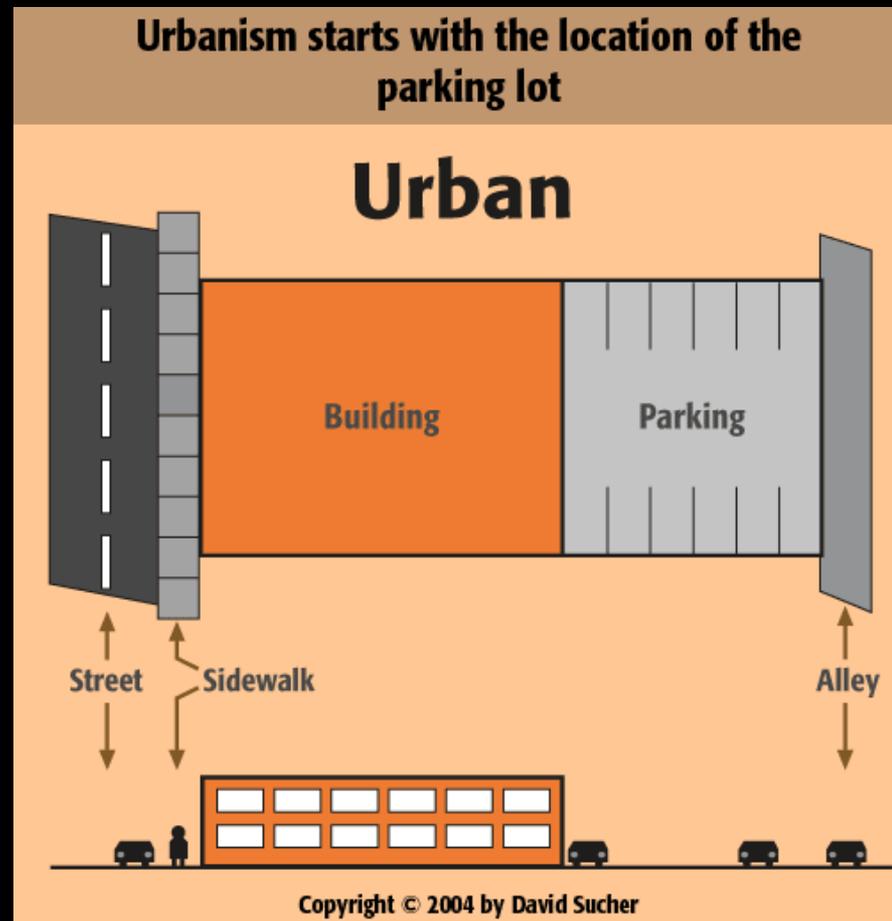
Blobs

Nets

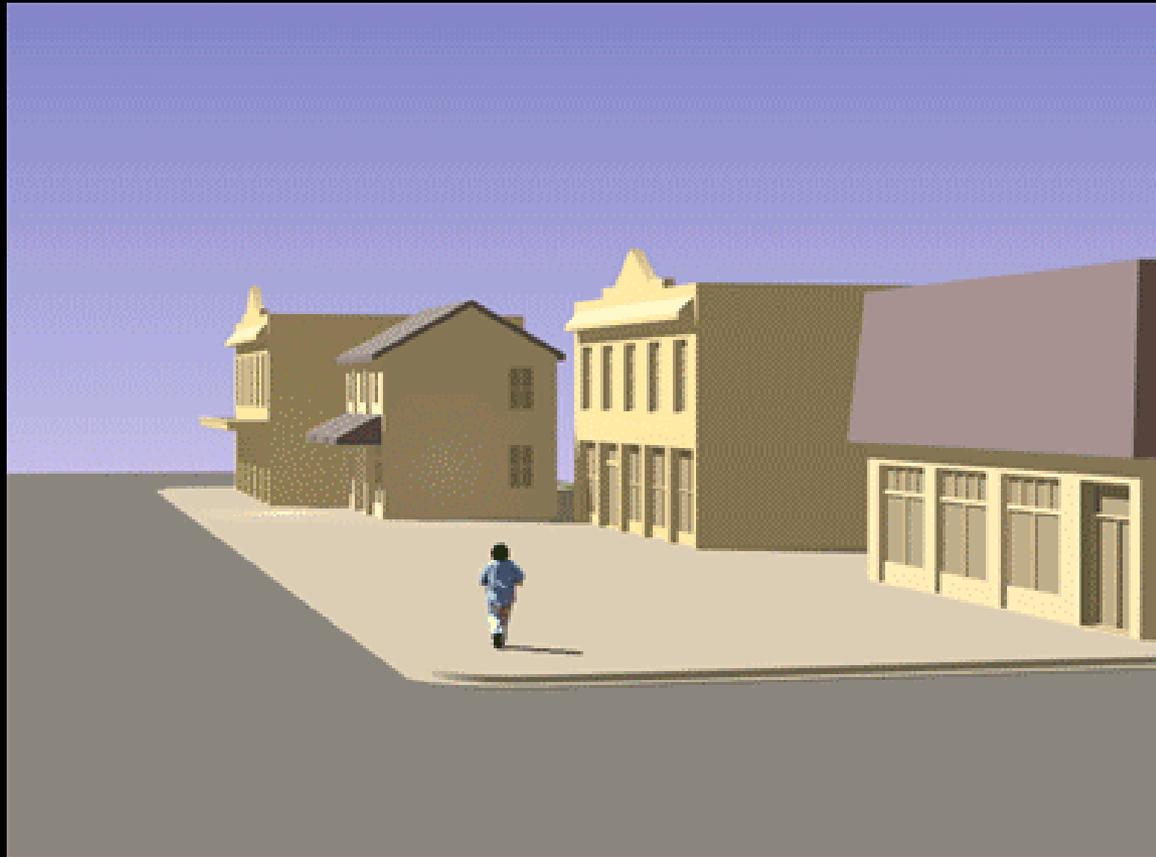




Foundation for Creating a Pedestrian-Friendly Environment



Foundation for Creating a Pedestrian-Friendly Environment



Foundation for Creating a Pedestrian-Friendly Environment

Walkable commercial street:



What are Form-Based Codes?

“FBC’s address the details of relationships between buildings and the public realm of the street, the form and mass of buildings in relation to one another, and the scale and type of streets and blocks.”

– Paul Crawford, FAICP

Components of a Form-Based Code

- 1. Regulating Plan**
- 2. Building Envelope Standards**
- 3. Streetscape Standards**
- 4. Architectural Standards**

4 basic methods that form-based codes can be deployed within the existing regulatory structure

How a form-based code can fit into a city's existing zoning:

Floating zone

Mandatory (integrated)

Mandatory
(freestanding)

Parallel (optional)

Geographies for applying form-based codes

What kind of development is regulated by the form-based code:

Greenfield code
(new development)

Downtown code

Corridor code

Redevelopment code

How a form-based code can fit into a city's existing zoning:

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Parallel (optional)



What kind of development is regulated by the form-based code:

Greenfield code (new development)

Downtown code

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Redevelopment code

MANDATORY CODES

Some Advantages:

- 1. Greater likelihood that each individual building on a block will improve the urban character of that block**
- 2. Integrated codes are less vulnerable after political turnovers because they are so intertwined with other provisions of the existing code**
- 3. Mandatory codes can establish a form-based format that can be used to expand similar concepts into the remainder of the code**

MANDATORY CODES

Some Disadvantages:

- 1. The format of existing codes is typically not conducive to form-based codes, lacking a tradition of regulating plans, diagrams and other critical format elements.**
- 2. Major 'surgery' is required on many parts of the code, which is daunting to anyone not understanding all the intricacies of typical complex codes.**
- 3. Careful integration is still required to identify all possible points of conflict and resolve them prior to adoption.**

OPTIONAL & FLOATING FORM-BASED CODES

Essential Characteristics:

- 1. Parallel FBCs apply only in specifically mapped geographic areas that are not related to zoning districts: (1) Parallel codes are often limited to designated “overlays” where physical planning has taken place. (2) In some cases the mapped area may include all land within a town or city.**
- 2. Parallel codes are never mandatory – they are available as an option to each landowner, often with incentives provided to encourage their use.**
- 3. If the parallel code is selected by a landowner, the parallel code becomes applicable in place of the standard regulations.**

OPTIONAL & FLOATING FORM-BASED CODES

Some Advantages:

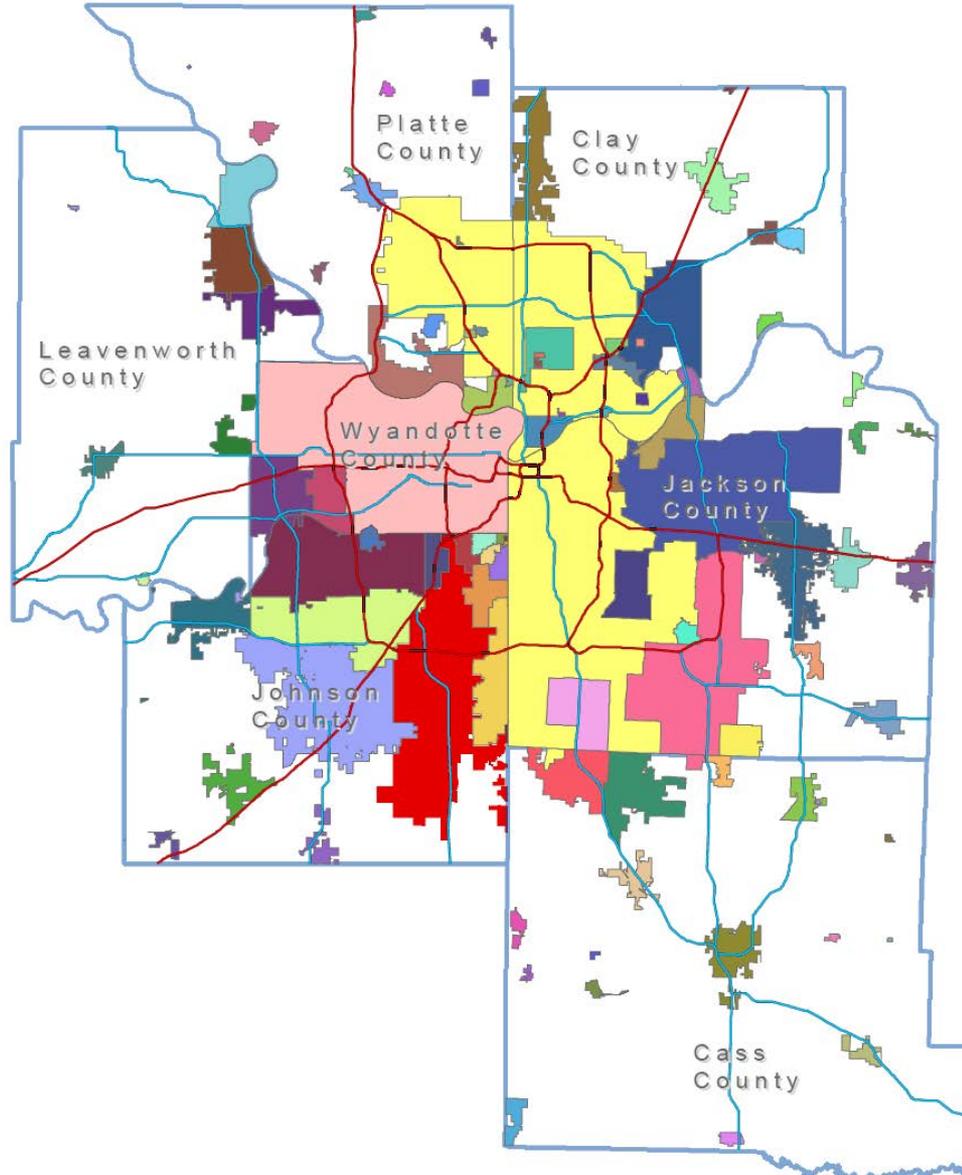
- 1. Politically, parallel codes are easier to get adopted. Local governments find it less risky to simply “offer another choice” than to replace existing codes with a form-based code.**
- 2. Parallel codes are much less likely to cause existing buildings, lots, or uses to become nonconforming.**
- 3. Like mandatory freestanding codes, the format of parallel codes can vary from that of the existing code.**

OPTIONAL & FLOATING FORM-BASED CODES

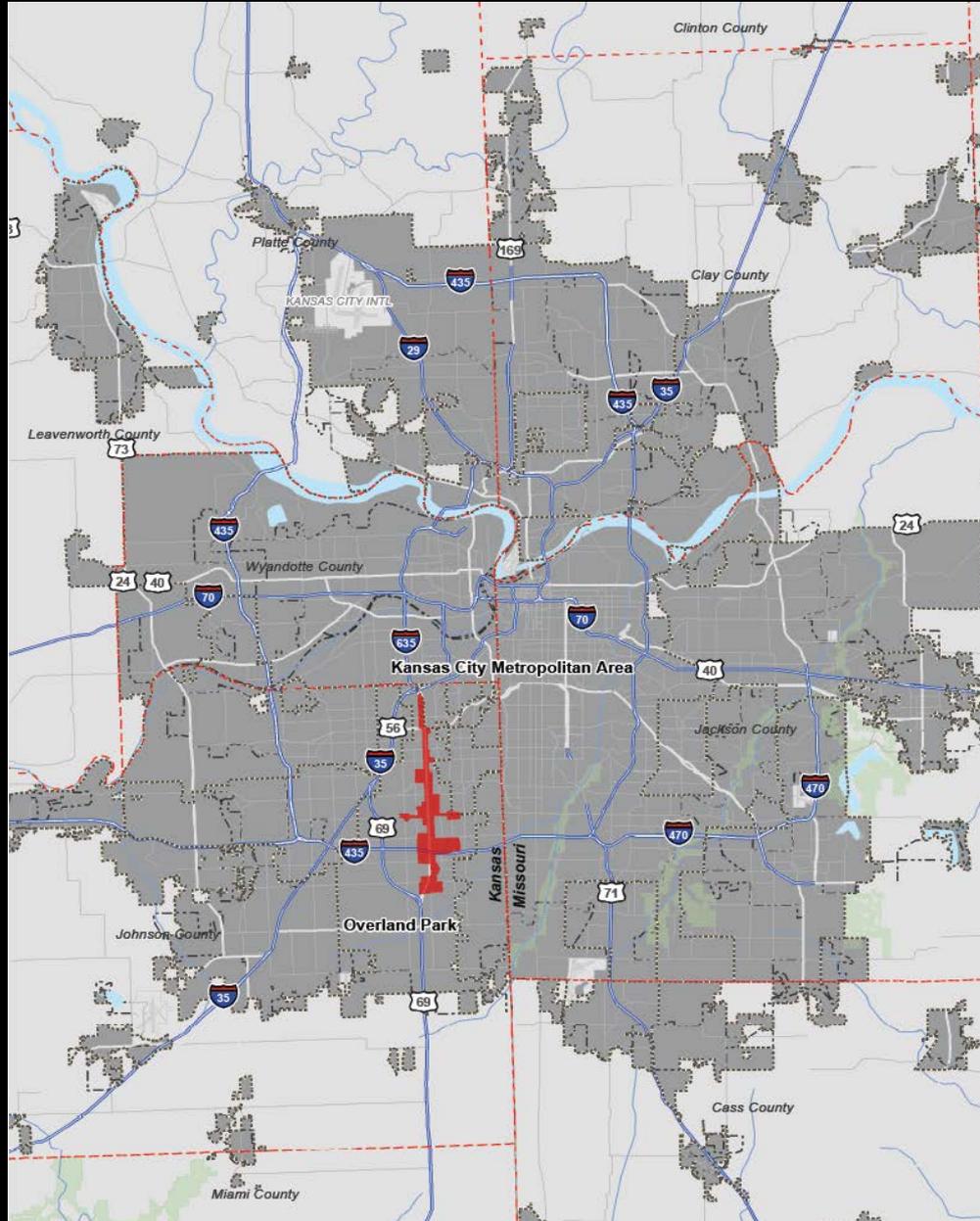
Some Disadvantages:

- 1. Parallel codes can be entirely ignored by developers; incentives are often deemed necessary to make them more attractive.**
- 2. Parallel codes may allow great buildings or new neighborhoods, but they are less likely to transform existing neighborhoods.**
- 3. Careful integration is still required to identify all possible points of conflict and resolve them prior to adoption.**

OVERLAND PARK, KANSAS



OVERLAND PARK, KANSAS



Vision Metcalf

- Objective 7
Develop local policy framework that is supportive of the Vision Plan
- Adopt a form-based code to implement and regulate the recommendations in the Vision Plan

ONE STRONG COMMUNITY
ONE GREAT STREET



VISION METCALF
THE CITY OF OVERLAND PARK
A VISION PLAN FOR THE METCALF CORRIDOR - FALL 2007

50

VISION PLAN



A. Helman Associates, INC. | Visioning / Planning / Urban Design

Public Participation

- Charrette
- Steering Committee
- Developer Open Houses
- Public Open Houses
- Utility Roundtable
- One-on-one property owner & developer meetings
- DOPP Meetings

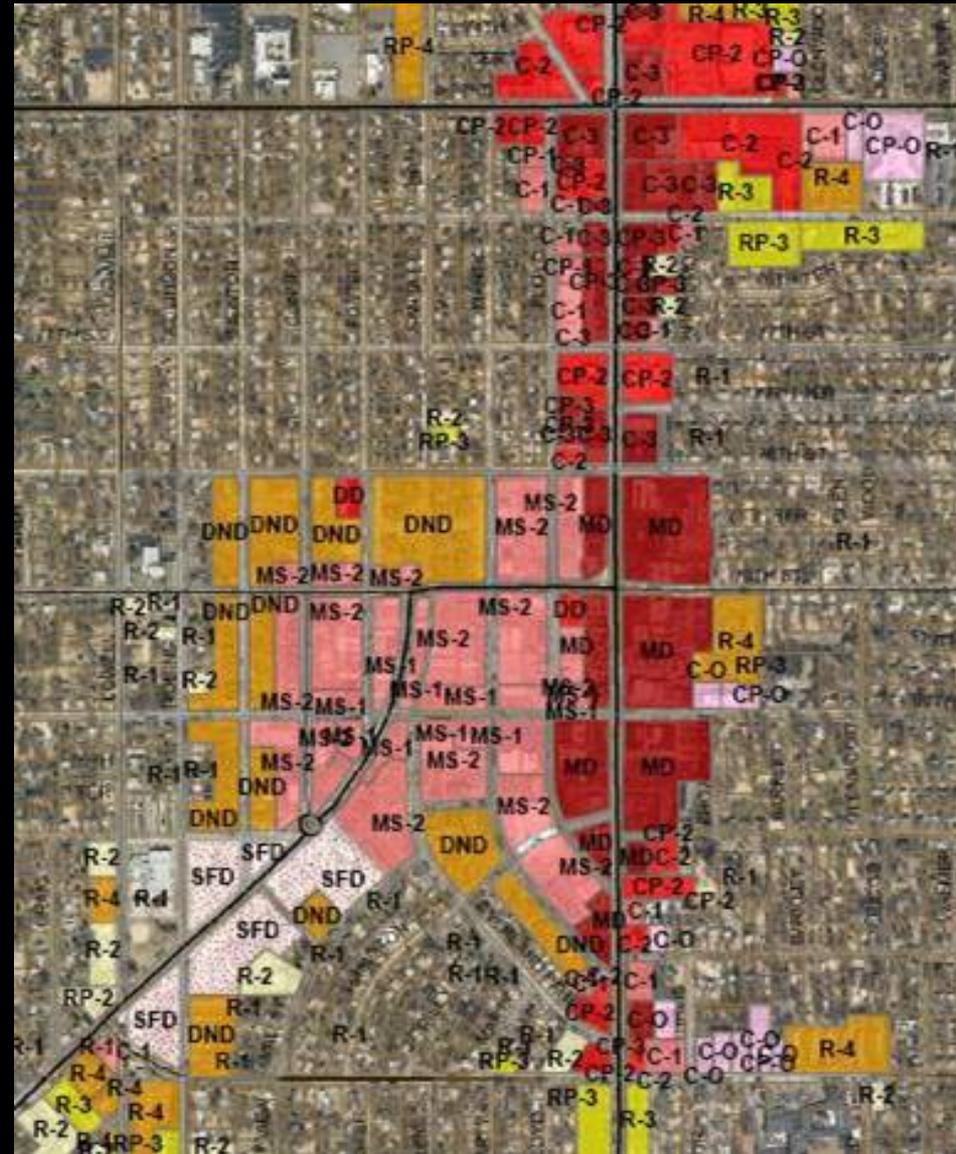


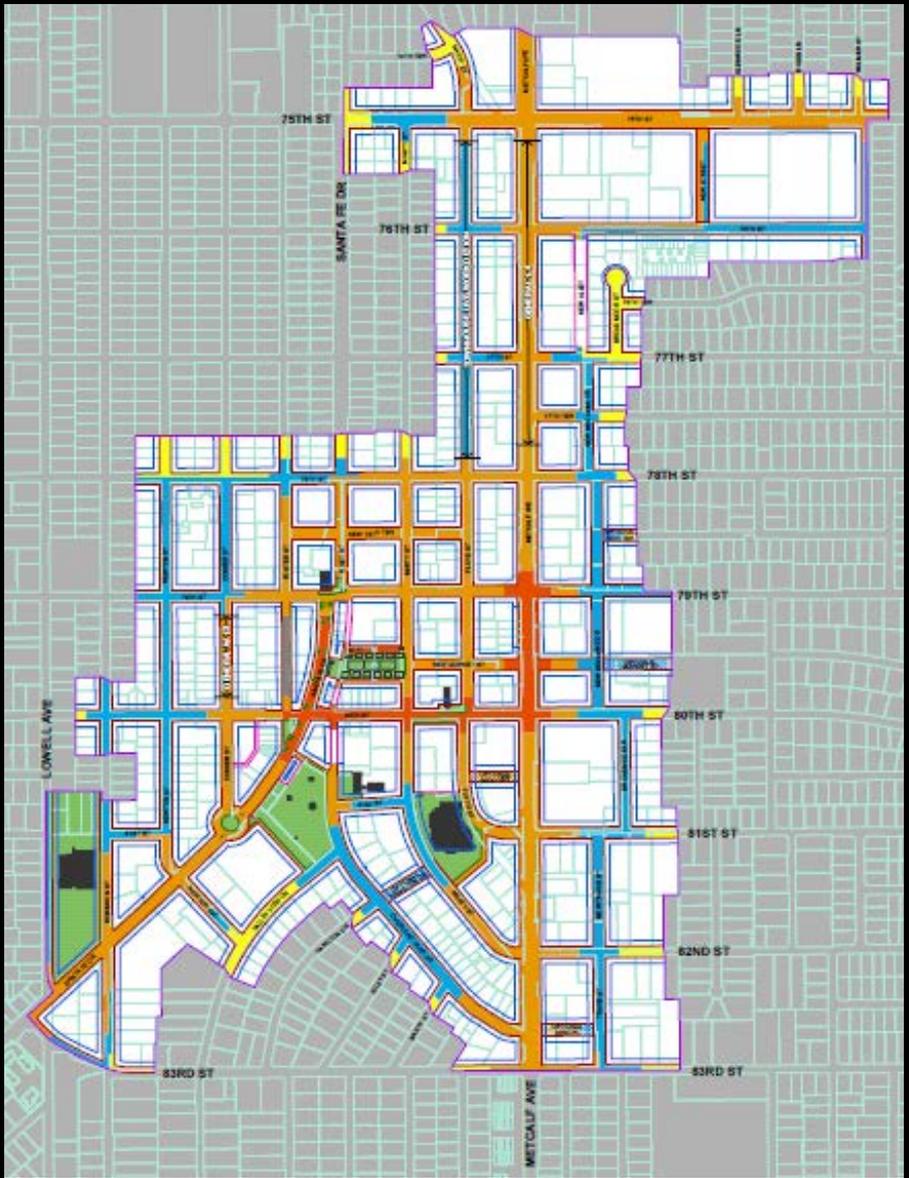
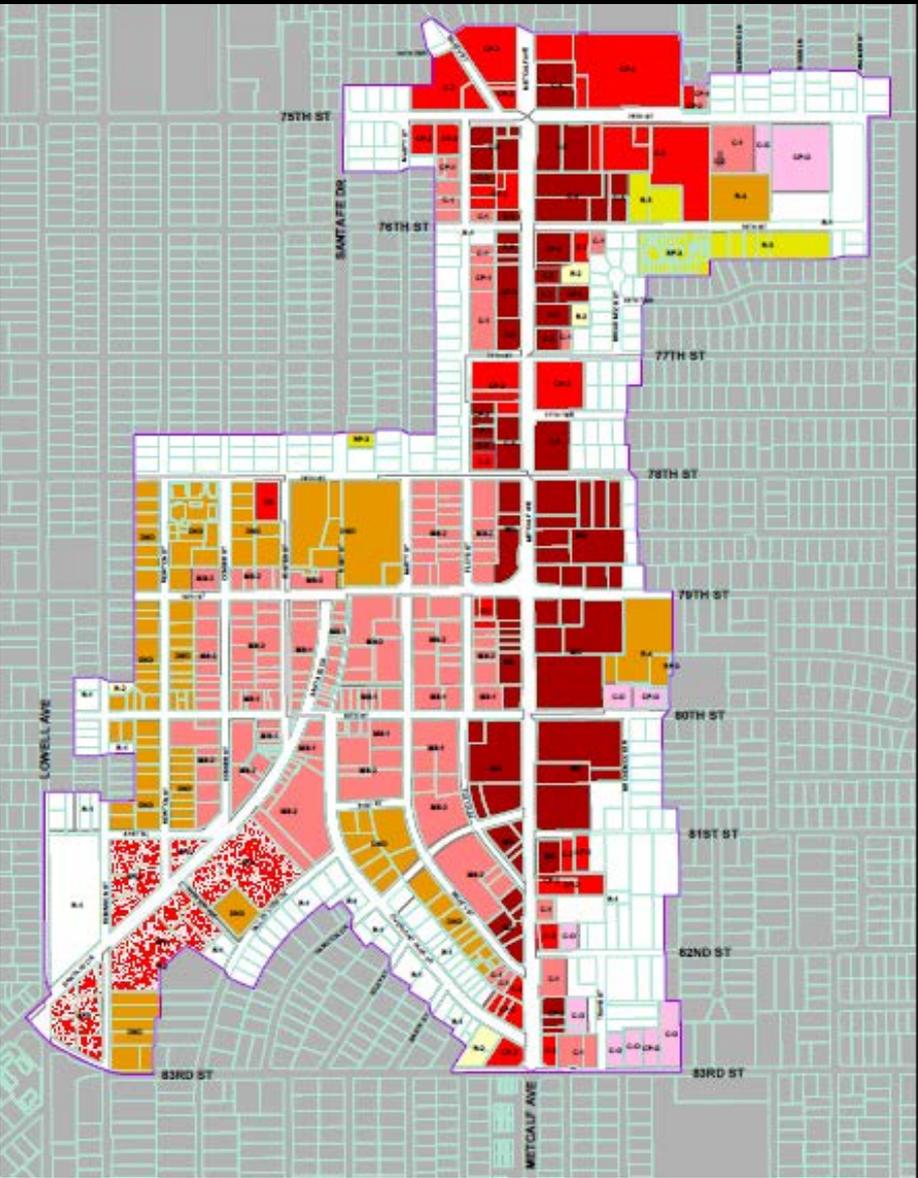
Vision Metcalf & Form-Based Code Development Principles



Current Downtown Zoning

19 Zoning Districts
Including
6 Downtown Districts





Form-Based Code Overview

- Part 1 – General Provisions
- Part 2 – Administration
- Part 3 – Regulating Plans
- Part 4 – Building Envelope Standards
- Part 5 – Urban Space Standards
- Part 6 – Architectural Standards
- Part 7 – Parking & Loading Standards
- Part 8 – Building Functions
- Part 9 – Definitions



**DOWNTOWN FORM-BASED CODE
OVERLAND PARK, KANSAS**

OCTOBER 2010
FINAL DRAFT

Administration

Form-Based Code Review Process

CITY OF OVERLAND PARK 2010 PLANNING COMMISSION SCHEDULE

APPL DEADLINE FOR REZ, SUP. PRE PLATS, AND PRE PLAN APPROVAL	PRE-PLAN REVIEW CHECK	APPL DEADLINE FOR FINAL PLATS, FINAL DEVELOPMENT PLANS & SIGNS	STAFF PLAN REVIEW	MAJOR REVISIONS DUE (17 days prior to PC mtg)	STAFF REPORTS FOR PC PACKETS DUE	CONTINUANCE DEADLINE	PLANNING COMMISSION MEETING 1:30 PM	CITY COUNCIL ACTION (IF REQUIRED) 7:30 PM
June 9	June 10	June 16	June 24	July 9	July 20	July 20	July 26	Aug 16
June 23	June 24	June 30	July 8	July 23	Aug 3	Aug 3	Aug 9	Sept 13

FORM BASED CODE REVIEW PROCESS

APPL DEADLINES FOR FBC APPROVAL Studies as req'd	PRE-PLAN REVIEW CHECK	DEADLINE CERTIFICATE OF CONFORMITY MODIFICATION	STAFF PLAN REVIEW	MAJOR REVISIONS DUE APPEAL DEADLINE	CERTIFICATE OF CONFORMITY COMMENTS DUE	CERTIFICATE OF CONFORMITY ISSUED (unless major revisions req'd)	
June 9	June 10	June 16	June 24	July 9	July 20	July 26	
June 23	June 24	June 30	July 8	July 23	Aug 3	Aug 9	
Certificate of Conformity time frame (working days)	1 day		10 days	10 days	7 days	4 days	32 days total

Form-Based Code Regulating Plan



Building Envelope Standards by Street Frontage

- Detached Frontage
- General Storefront Frontage
- General Urban Frontage
- Townhouse/Small Apartment
- Workshop Frontage

- Civic Structures
- Public Open Space
- Current Property Boundary
- Proposed Zoning District Boundary

0 125 250 500 750 1,000 Feet



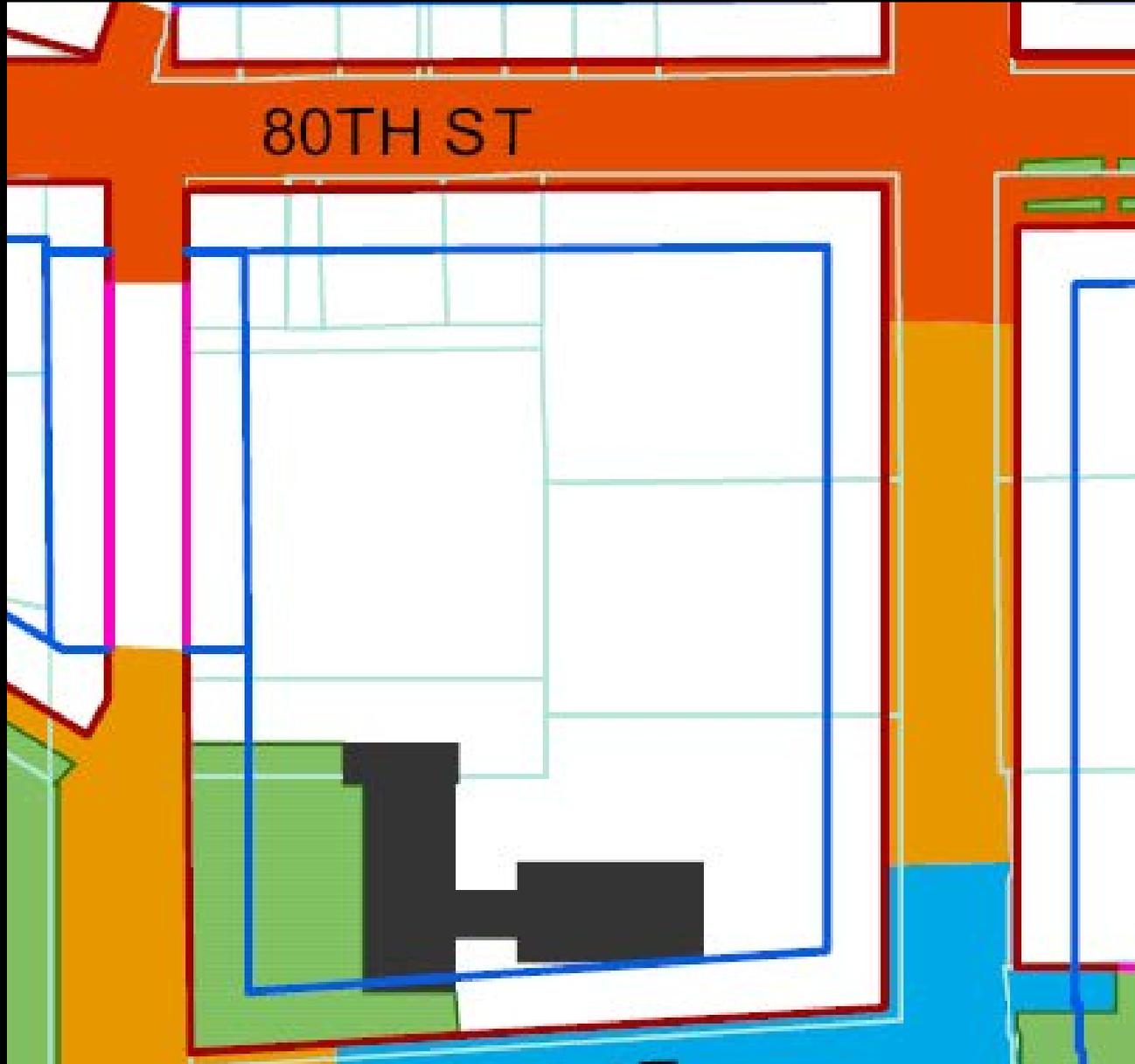
September 20, 2010

OVERLAND PARK
K A N S A S

ABOVE AND BEYOND. BY DESIGN.



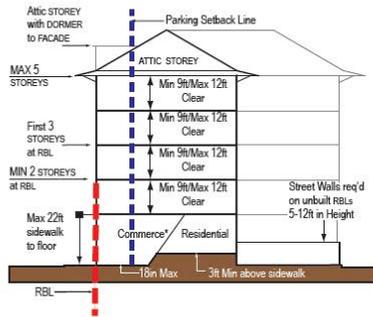
Building Parameters



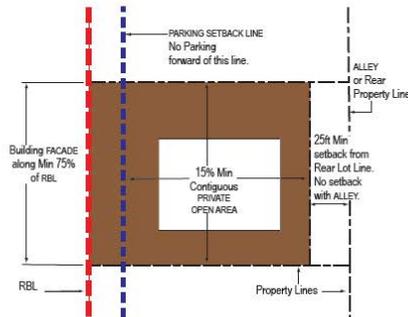




General Urban Building Frontage



HEIGHT



SITING

Building Height

The building shall be at least 2 storeys in height, but no greater than 5 storeys and 79 feet in height, unless otherwise designated on the REGULATING PLAN.

Ground Storey Height: Commerce Uses

- The average ground storey finished floor elevation within 30 feet of the RBL shall be
 - not lower than the fronting exterior sidewalk elevation
 - not higher than an average finished floor elevation of 18 inches above the sidewalk.
- See COMMERCE Frontage Special Conditions, below.
- The ground storey shall have at least 15 feet of clear interior height (floor to ceiling) contiguous to the RBL frontage for a minimum depth of 25 feet.
- The maximum ground storey height is 22 feet, measured from the sidewalk to the second storey floor.

Ground Storey Height: Residential Units

- The average finished floor elevation shall be no less than 3 feet above the exterior sidewalk elevation at the RBL.
- The ground storey shall have an interior clear height (floor to ceiling) of at least 9 feet and a maximum sidewalk to second storey floor height of 22 feet.

Upper Storey Height

- The maximum clear height (floor to ceiling) for storeys other than the ground storey is 12 feet.
- At least 80% of each upper storey shall have an interior clear height (floor to ceiling) of at least 9 feet.

Street Wall Height

A STREET WALL not less than 5 feet in height or greater than 8 feet in height shall be required along any RBL frontage that is not otherwise occupied by a building on the lot.

Facade

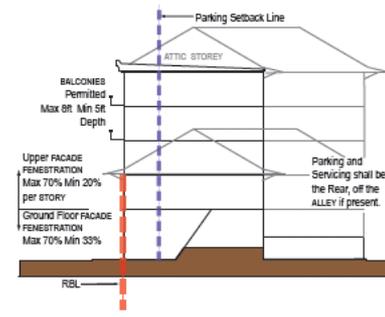
- On each lot the building facade shall be built-to the REQUIRED BUILDING LINE for at least 75% of the RBL length.
- Within 8 feet of the block corner, the ground storey facade may be pulled away to form a corner entry.

Buildable Area

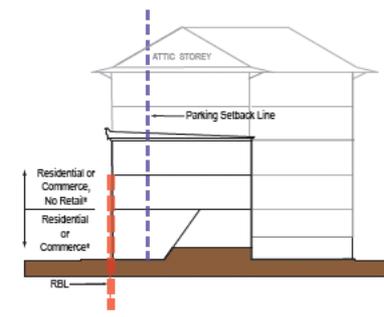
A contiguous private open area equal to at least 15% of the total buildable area shall be preserved on every lot. Up to 33% of the required open area may be satisfied through the balconies of individual units. Such contiguous private open area may be located anywhere behind the parking setback line and not including any side or rear setbacks, at or above grade.

Garage and Parking

Openings in any RBL for parking garage entries shall have a maximum clear height no greater than 16 feet and a clear width no greater than 22 feet.



ELEMENTS



USE

Fenestration

- Blank lengths of wall exceeding 20 linear feet are prohibited on all REQUIRED BUILDING LINES (RBL).
- Ground storey fenestration shall comprise between 33% and 70% of the facade. Where designated as General Storefront the ground storey fenestration shall comprise between 50% and 90% of the facade.
- Upper storey fenestration shall comprise between 20% and 70% of the facade area per storey.
- Retail uses shall use SHOPFRONT fenestration standards.

Building Projections

- Awnings shall project:
 - a minimum of 5 feet from the facade
 - a minimum of 4 feet back from any street tree or streetlight center-line alignment.
- Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least 10 feet.
- Awnings may have supporting posts at their outer edge provided that they:
 - Have a minimum of 8 feet clear width between the facade and the support posts or columns of the awnings, and
 - Have between 18 and 24 inches between the support posts or columns of the awnings and the back of curb, and
 - Provide a continuous walking path at least 5 feet wide running adjacent and parallel to the awning columns/posts.

Street Walls

One access gate no wider than 22 feet and one pedestrian entry gate no wider than 5 feet shall be permitted within any required STREET WALL.

Ground Storey

The ground storey may only house COMMERCE or RESIDENTIAL uses. See height specifications above for specific requirements unique to each use.

Upper Storeys

- The upper storeys may only house RESIDENTIAL or COMMERCE uses.
- Refer to Section 804.F for specific standards related to restaurant or retail sales uses in upper storeys.
- No COMMERCE use is permitted above a RESIDENTIAL USE.
- Additional habitable space is permitted within the roof where the roof is configured as an ATTIC STOREY.

COMMERCE Frontage Special Conditions

GENERAL STOREFRONT Frontages

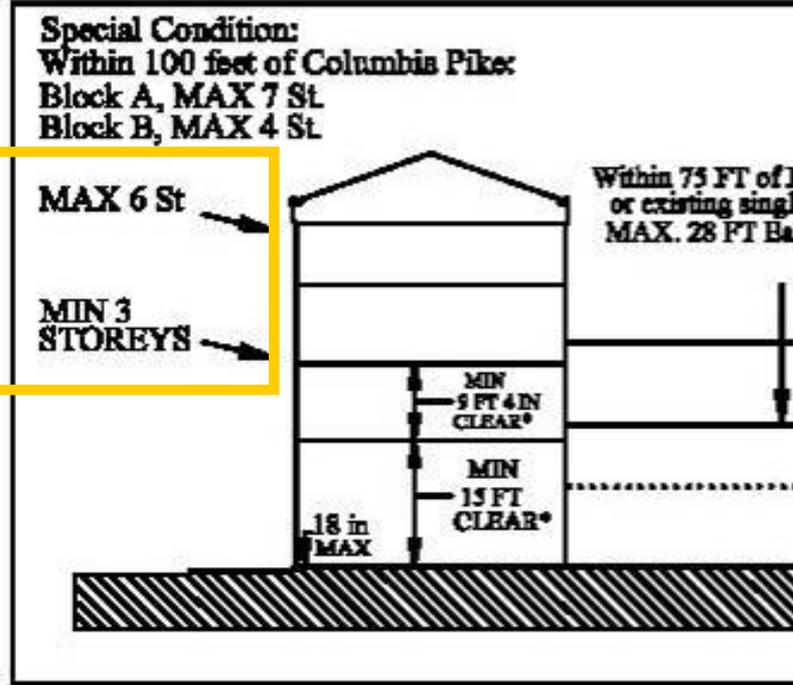
Where designated on the REGULATING PLAN as GENERAL STOREFRONT these frontages shall use this General Urban BES standard, excepting that the ground storey configuration shall be for COMMERCE - that of a SHOPFRONT. (See 606.D.3 SHOPFRONT Windows for specific requirements.)

Steep Slope Exceptions: Subject to the Director's approval, for approved grocery operations, where the average slope across a STREET FRONTAGE for a given block face is greater than or equal to 5 percent, the ground storey finished floor elevation requirement may be measured across a frontage width increment of 120 feet to a maximum 27 inches (average) above the fronting sidewalk.

Building Height



Height



The Basics: Elements (Fenestration, Balconies, etc.)

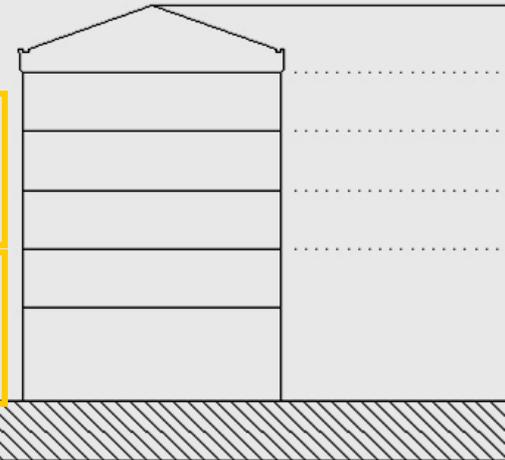


Elements

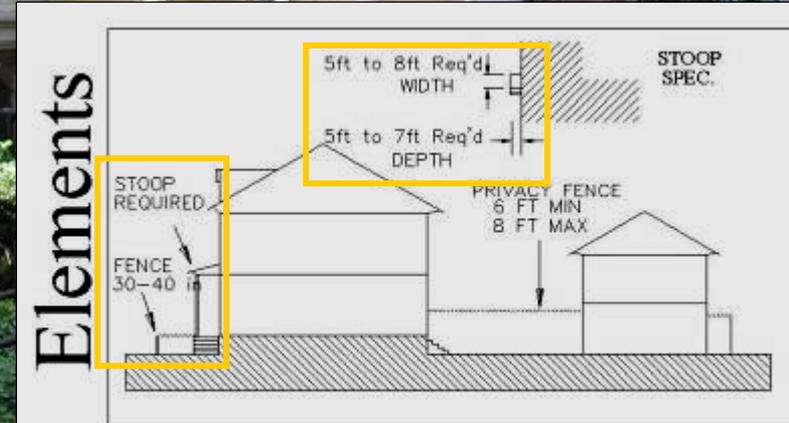
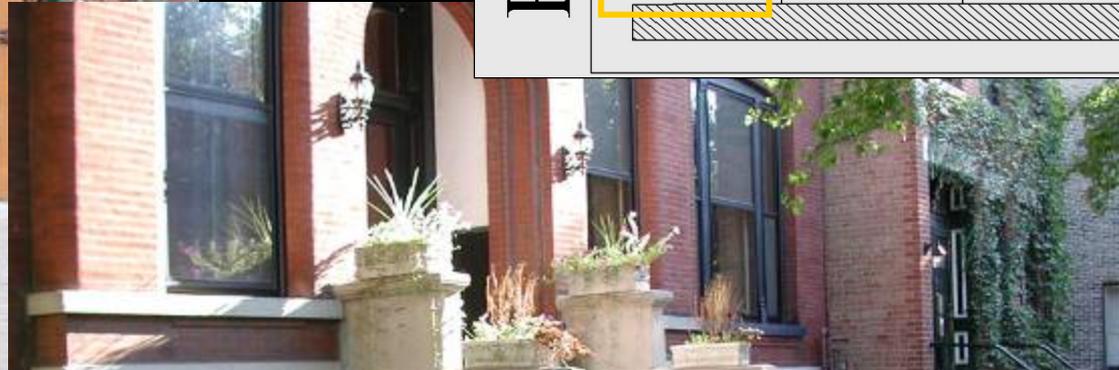
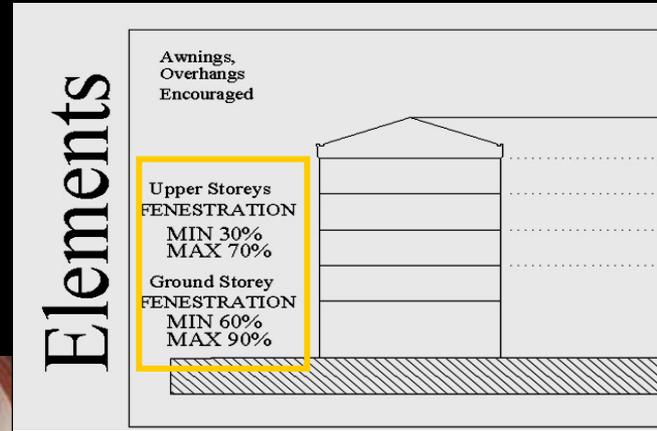
Awnings,
Overhangs
Encouraged

Upper Storeys
FENESTRATION
MIN 30%
MAX 70%

Ground Storey
FENESTRATION
MIN 60%
MAX 90%



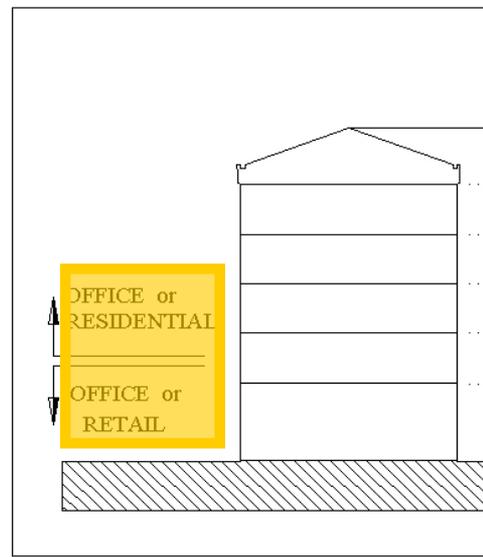
The Basics: Elements (Fenestration, Balconies, etc.)



The Basics: Use

(Form & Scale Corral Use)

Uses

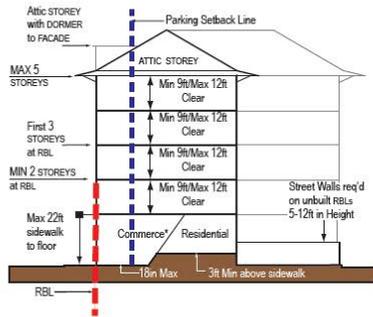


Zoning Symbology

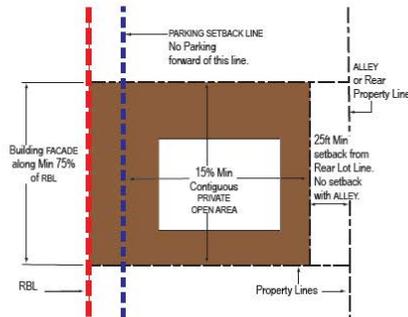
Residential	Commercial	Design
R-O-S	C-A	R-L
O-S	C-O	R-S
R-A	C-R-C	R-M
R-E	C-S-C	R-U
R-R	C-1	L-A-C
R-80	C-C	M-A-C
R-55	C-G	E-I-A
R-35	C-2	Village
R-T	C-W	V-M
R-20	C-M	V-L
R-30	C-H	Community
R-30C	Industrial	R-M-H
R-18	I-3	R-P-C
R-18C	I-4	Mixed Use



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- See COMMERCE Frontage Special Conditions, below.
- The ground storey shall have at least 15 feet of clear interior height (floor to ceiling) contiguous to the RBL frontage for a minimum depth of 25 feet.
- The maximum ground storey height is 22 feet, measured from the sidewalk to the second storey floor.

Ground Storey Height: Residential Units

- The average finished floor elevation shall be no less than 3 feet above the exterior sidewalk elevation at the RBL.
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Upper Storey Height

- The maximum clear height (floor to ceiling) for storeys other than the ground storey is 12 feet.
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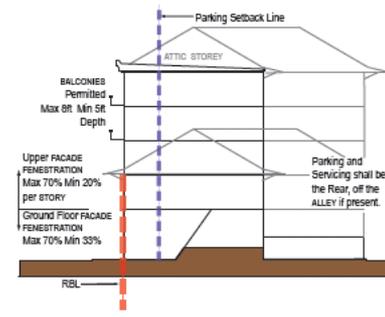
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ELEMENTS

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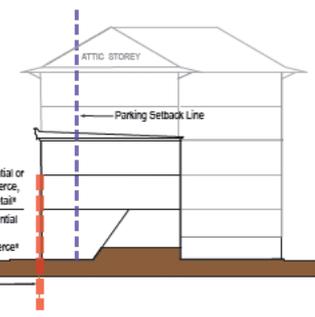
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- Additional habitable space is permitted within the roof where the roof is configured as an ATTIC STOREY.

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General Urban Building Frontage



General Urban Building Frontage



Small Apartment / Townhomes

404. Townhouse/Small Apartment Frontage

ILLUSTRATIONS AND INTENT

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific prescription and restrictions of the Building Envelope Standard.



The townhouse/small apartment building envelope standard is of moderate intensity, often created by a series of smaller attached structures, single-family residential, stacked flats, service commercial, or live-work arrangements. This standard has regular street-space entrances, as frequently as 18 feet. The character and intensity of this frontage varies with the siting/location of the required building line—the buildings may be placed up to the sidewalk with stoops (at the RBL), or further back with front porches and/or small dooryard gardens (at the RBL2). Similarly, the tree lawns may be found uncovered and continuous or partially covered in the street-space, depending on the street intensity.

Similar to the scale of the townhouse and row house, a small apartment can also be used to transition the urban form and intensity to abutting single-family neighborhoods.



HEIGHT

Building Height

1. Each building shall be at least 2 storeys in height, but no greater than 4 storeys and 54 feet in height.
2. A side wing or auxiliary structure shall be no higher than 18 feet in height.

Ground Storey Height

1. The average finished floor elevation shall be no less than 3 feet and no more than 6 feet above the existing sidewalk elevation at the maximum setback line (RBL).
2. At least 80% of the ground storey shall have an interior clear height (floor to ceiling) of at least 9 feet.
3. The maximum maximum storey floor to ceiling height is 12 feet.

Upper Storey Height

1. The maximum clear height (floor to ceiling) for storeys other than the ground storey is 12 feet.
2. At least 80% of each upper storey shall have an interior clear height (floor to ceiling) of at least 9 feet.

Street Wall Height

A street wall may not be less than 4 feet in height or greater than 8 feet in height shall be required along any RBL, frontage that is not otherwise occupied by a building on the lot.

Siting

Building Height

1. Townhouse/Small Apartment frontages have both the given RBL and a second "RBL2". This is offset ten (10) feet from the given RBL into the lot.
2. One inch for the building setback shall be built on either the:
 - a. RBL for at least 65% of its length;
 - b. RBL2 for at least 65% of its length with a front setback of at least that same width (65% of the RBL2);
 - c. the RBL2 for at least 63% of its length.
3. Option 2.c is not available within 20 feet of a street corner.
4. Shifts between RBL and RBL2 alignments shall be limited to 1 change per 75 feet of setback fact.

Buildable Area

The maximum area is as defined in the diagram above. A contiguous structure cover area equal to at least 13% of the total buildable area shall be permitted on every lot. Up to 13% of the required open area may be satisfied through the balconies of individual units. This area may be located anywhere behind the existing setback lines and not including any side or rear without areas, or grade.

Garage and Parking

1. Garage doors/entries are not permitted on any RBL/facade.
2. As grade parking may be forward of the existing setback lines only when it is within a garage on a common lot and the parking areas frontage width is less than 25 feet.

Frontage Width

1. The minimum lot width is 18 feet.
2. Although there are no individual side lot setbacks, no building/ set of townhouses may exceed 120 feet of continuous attached street frontage. A gap of 10 feet to 20 feet is required between each such attached structure.

ELEMENTS

Facade

1. Blank lengths of wall exceeding 15 linear feet are prohibited on all REQUIRED BUILDING LINES (RBL).
2. FENESTRATION shall comprise between 20% and 70% of the FACADE.
3. No window may face or direct views toward a COMMON LOT LINE within 20 feet unless:
 - a. that view is contained within the lot (e.g. by a PRIVACY FENCE/GARDEN WALL) or,
 - b. the sill is at least 6 feet above the finished floor level.

Building Projections

1. Each lot/GROUND STOREY unit shall include:
 - a. a STOOP of not more than 5 feet deep and 6 feet wide (not including steps) may be roofed but not enclosed, or
 - b. a FRONT PORCH, between 8 feet and 10 feet deep with a width not less than 1/3rd of the FACADE, or as specified in Siting, Facade, 2.
2. No FRONT PORCH may sit forward of the RBL.
3. See FRONT PORCH for additional dimensional requirements.

Doors/Entries

Each RBL/FACADE GROUND STOREY unit shall provide a functioning entry door with direct STREET-SPACE ACCESS.

Street Walls

One access gate no wider than 18 feet and one pedestrian entry gate no wider than 5 feet shall be permitted within any required STREET WALL.

USE

Ground Storey

The ground storey may only house RESIDENTIAL uses.

Upper Storeys

1. The upper storeys may only house RESIDENTIAL uses.
2. Additional habitable space is permitted within the roof where the roof is configured as an ARTIC STOREY.

Accessory Unit

1. One INCLUDES BASEMENT UNIT or one accessory unit is permitted per lot.
2. Parking and ACCESSORY UNIT (maximum 650 square foot footprint) uses are permitted in the BUILDABLE AREA at the rear of the lot.

Live-Work Frontage Special Conditions

Where designated on the regulating plan as Live-Work, these frontages shall use this BES standard, excepting that they have the option of using the ground storey configuration for commerce—that of a shopfront. (See 606.D.3 Shopfront Windows for specific requirements.)

Small Apartment / Townhomes



Building Envelope Standards

405. Detached Frontage

ILLUSTRATIONS AND INTENT

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific prescription and restrictions of the Building Envelope Standard.

The detached frontage building envelope standard is represented by the traditional single-family house with small front, side and rear yards along a tree-lined street. Structures are 1 to 3 storeys in height with pitched roofs and front porches.



406. Workshop Frontage

ILLUSTRATIONS AND INTENT

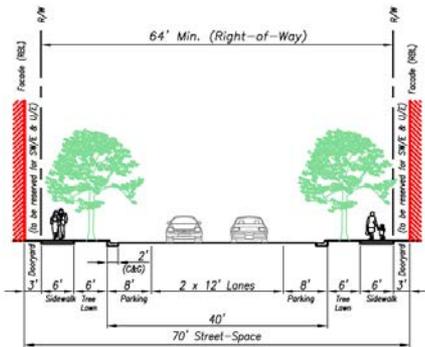
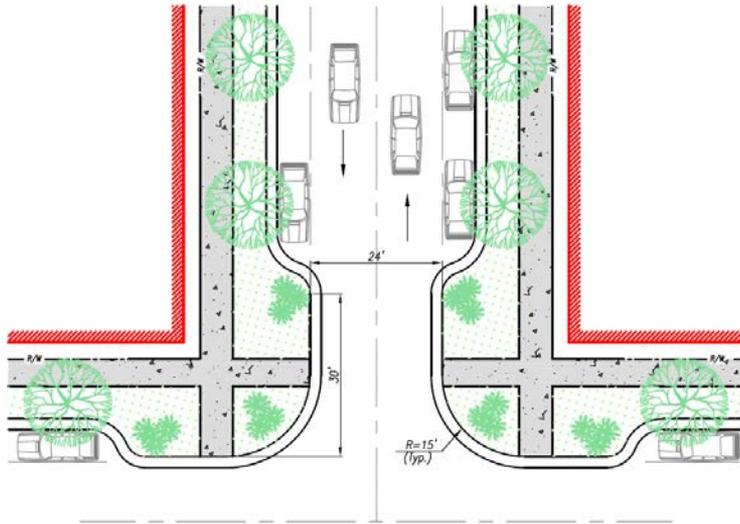
Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific prescriptions and restrictions of the Building Envelope Standard.

The Workshop form standard accommodates small scale manufacturing and repair—including artisans—within the city. These structures are of limited height and are built to the fronting sidewalk. Exterior work areas are confined to work courts and/or at the center of the block.



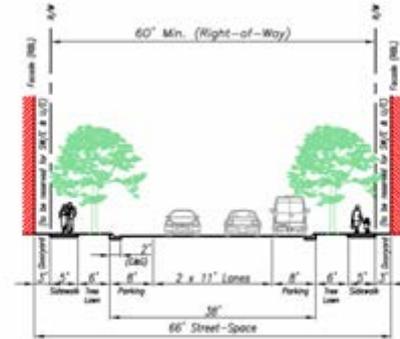
Street Cross-Sections

c. Street S-70/40



S-70/40

d. Street S-66/38



S-66/38

Architectural Standards

603. Building Walls

A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

B. Intent

Building walls should define the public realm - the street-space. All walls should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and orientation in building form and the articulation of details.

The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.



56 Overland Park Form-Based Code

September 2010
PUBLIC DRAFT (4)

A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

B. Intent

Roofs and parapets should demonstrate common-sense recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the district. Roof forms are not interchangeable. The roof type is integral to the design of the building and its architectural character.

The slope of a pitched roof is determined by local climatic conditions (such as the ability to shed snow loads) and physical properties of the roofing material. Roof types that have overhanging eaves, such as gabled or hipped roofs, should be of a dimension suitable for sun shade.

Parapets are low guarding walls at the edge of roofs (usually flat) and are formed by extensions of the building facades.

Cornices are crowning (trim) projections on a parapet wall. While the code requires certain horizontal projection parameters, these elements should be designed to be appropriate for the style of the building and proportionate for the dimensions of the façade.

The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.



Example: Overhang Requirement

58 Overland Park Form-Based Code

September 2010
PUBLIC DRAFT (4)

606. Windows and Doors

A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

B. Intent

The placement, type, and size of windows and doors on the facade largely establishes the scale and vitality of the street-space. For commercial buildings, they allow interplay between the shop interiors and the street-space. Commercial uses (especially restaurants and retail establishments) benefit from exposure to the passers-by and the street-space benefits from the visual activity.

For residences, they form the "eyes on the street" surveillance which provides for the security and safety for the area.

Windows should be divided by multiple panes of glass. This helps the window hold the surface of the façade, rather than appearing like a "hole" in the wall (an effect produced by a large single sheet of glass).

The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.



In commerce frontages, the public space of the STREET-SPACE and the interior space of the storefront intermingle. For residential frontages the interior space should not intermingle with the STREET-SPACE but rather overlook it and provide surveillance.

62 Overland Park Form-Based Code

September 2010
PUBLIC DRAFT (4)

Signage



Building Function

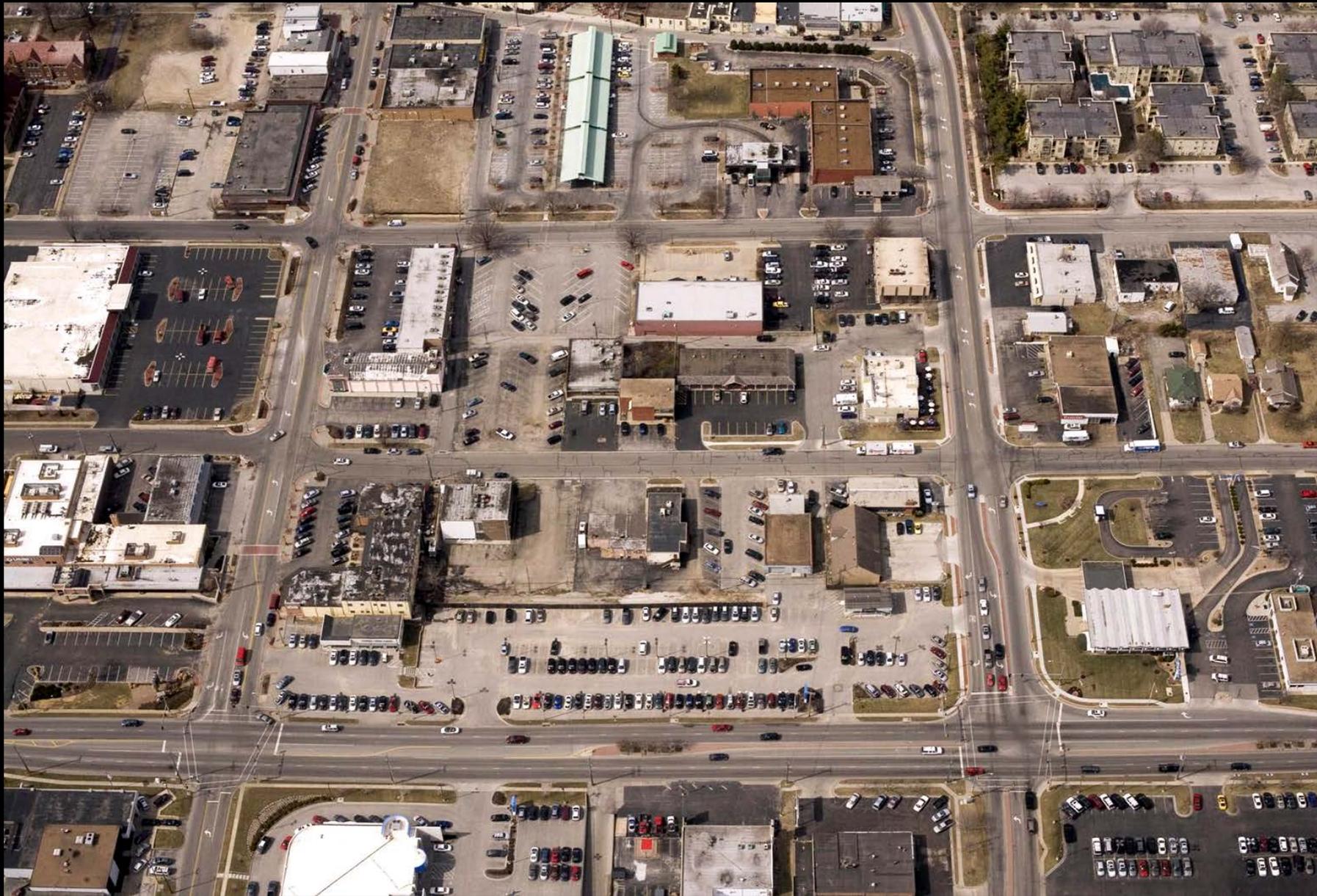
USE CATEGORY		BUILDING ENVELOPE STANDARDS									Additional Standards
		General Urban		General Storefront		Townhouse/ Small Apt		Workshop		Detached	
		Ground Storey	Upper Storey	All Storeys							
RESIDENTIAL	Household Living	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>	Sec. 804.B.1-2
	Group Living		<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	See City for Specifications
COMMERCE	Office	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sec. 804.D.
	Overnight Lodging	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	Sec. 804.E.1-3
	Recreation/Entertainment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>						Sec. 804.F.1-6
	Vehicle Sales	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sec. 804.F.2
	Passenger terminal	<input checked="" type="checkbox"/>							<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
	Day Care	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input type="checkbox"/>	See City for Specifications
	Retail Sales & Service	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>	Sec. 804.F.2, 5, 6
	Restaurant/Bar	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>		Sec. 804.F.1-4
	Gas Station/Auto Repair	<input type="checkbox"/>	<input type="checkbox"/>								Sec. 804.G.
WORKSHOP	Light Industrial & Manufacturing								<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
	Research & Development		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
	Wholesale/Warehouse/Distribution								<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
	Self-service storage		<input type="checkbox"/>						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	See City for Specifications
	Gas Station/Auto Repair	<input type="checkbox"/>							<input type="checkbox"/>	<input type="checkbox"/>	Sec. 804.G.
CIVIC	See Part 9, Definitions	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	Sec. 804.C.						

Key: = Permitted = Additional Regulations Apply Blank Cell = Not Permitted

Areas of Implementation



Downtown Core



The Farmer's Market & Market Street



Farmers Market

Market Street

METCALF AVENUE

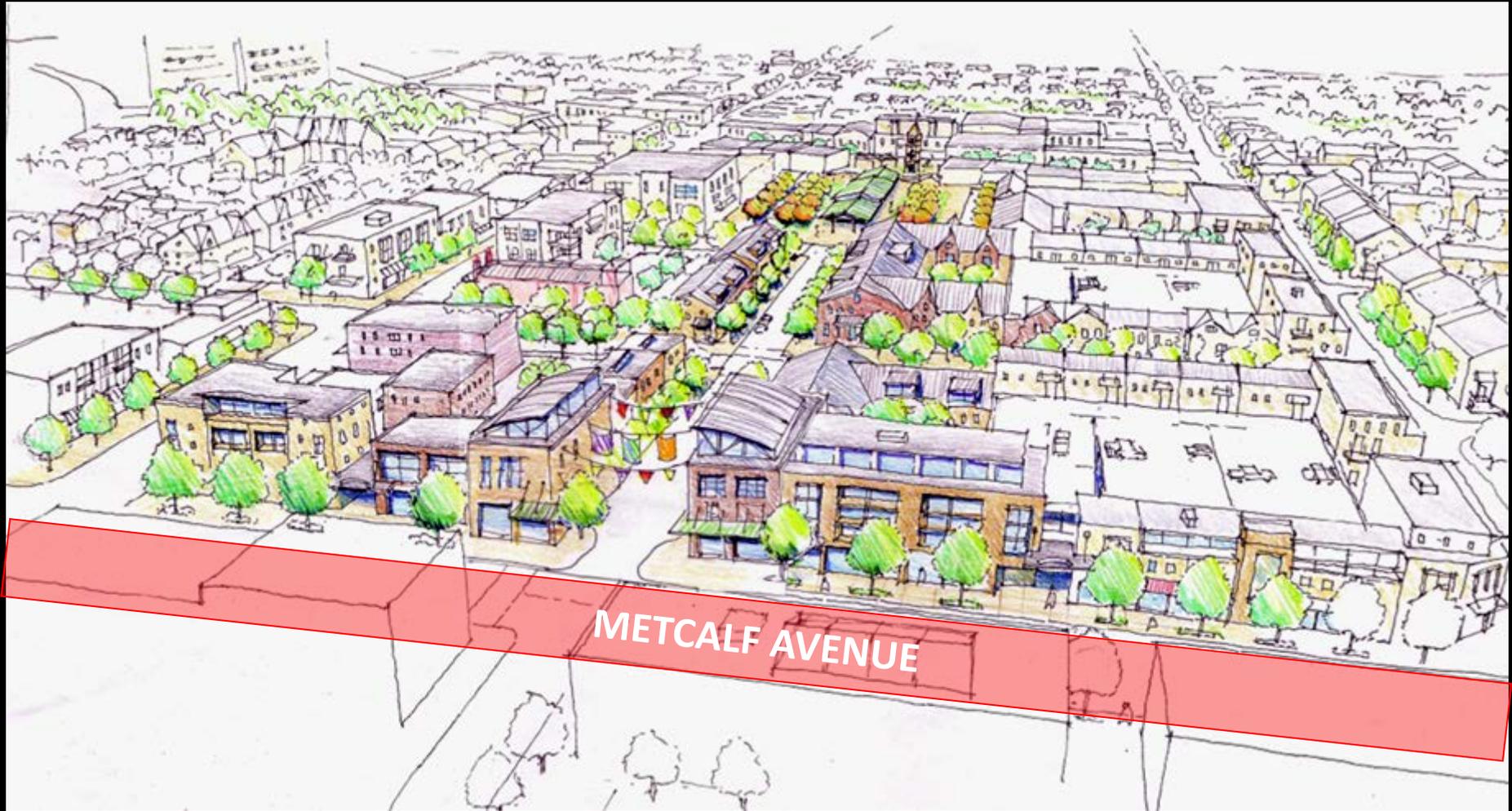
The Farmer's Market



The Farmer's Market



Market Street



Overland Park, KS Market Street



Overland Park, KS Market Street



Overland Park, KS Market Street



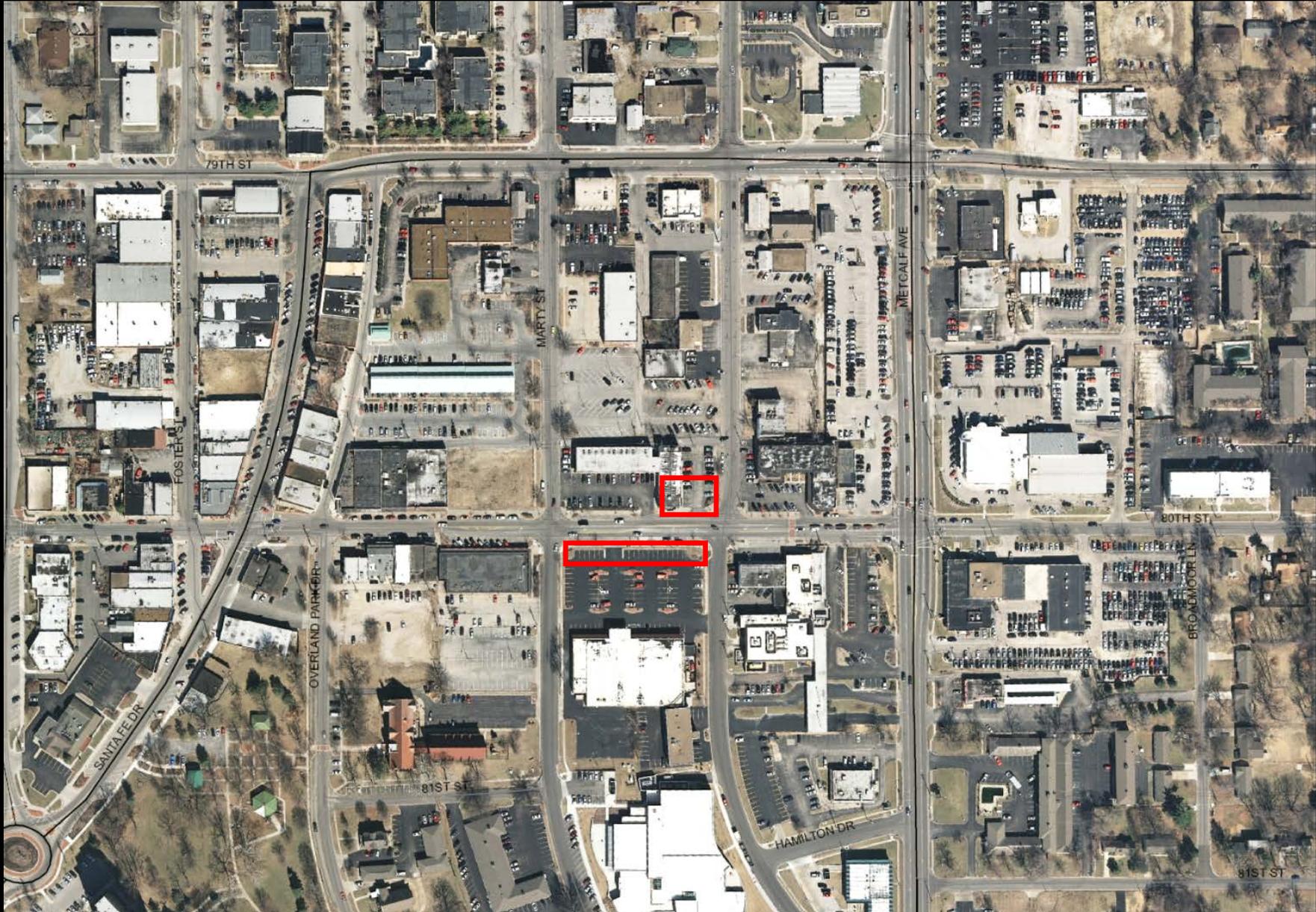
Overland Park, KS Market Street



Overland Park, KS Market Street



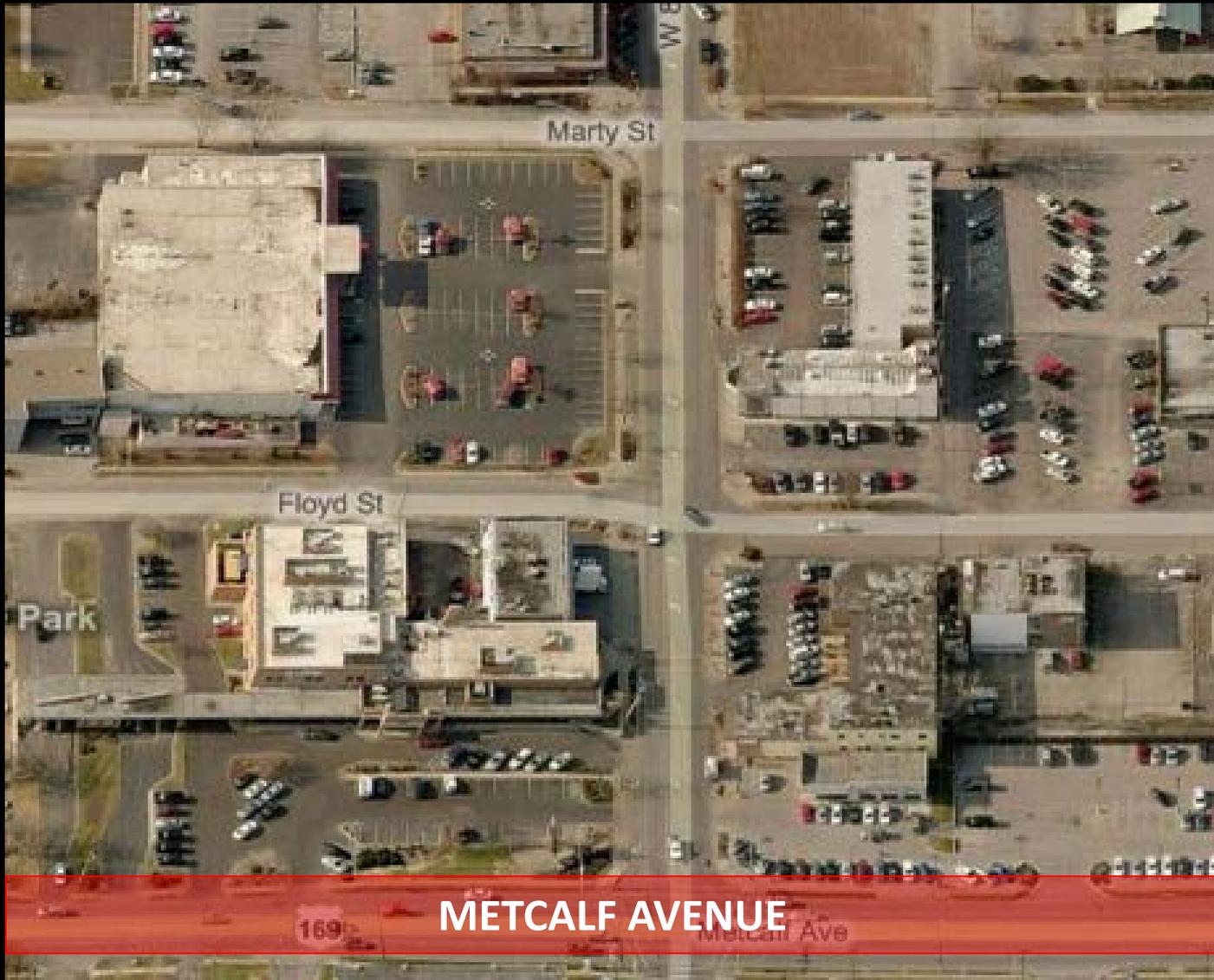
Areas of Implementation



80th Street Colonnade



80th Street



Overland Park, KS W. 80th Street



Overland Park, KS W. 80th Street



Overland Park, KS W. 80th Street



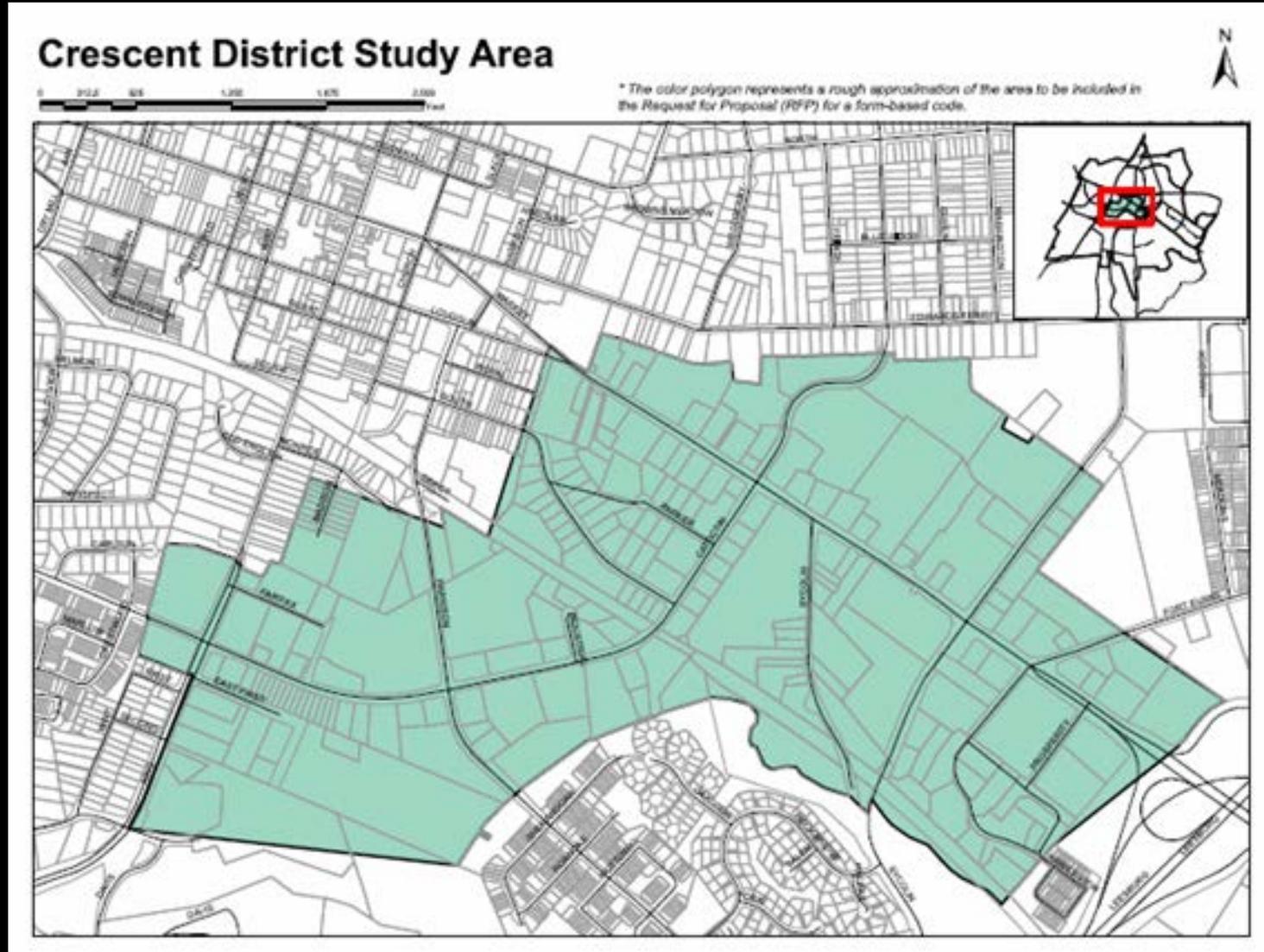
Overland Park, KS W. 80th Street



Leesburg Crescent District

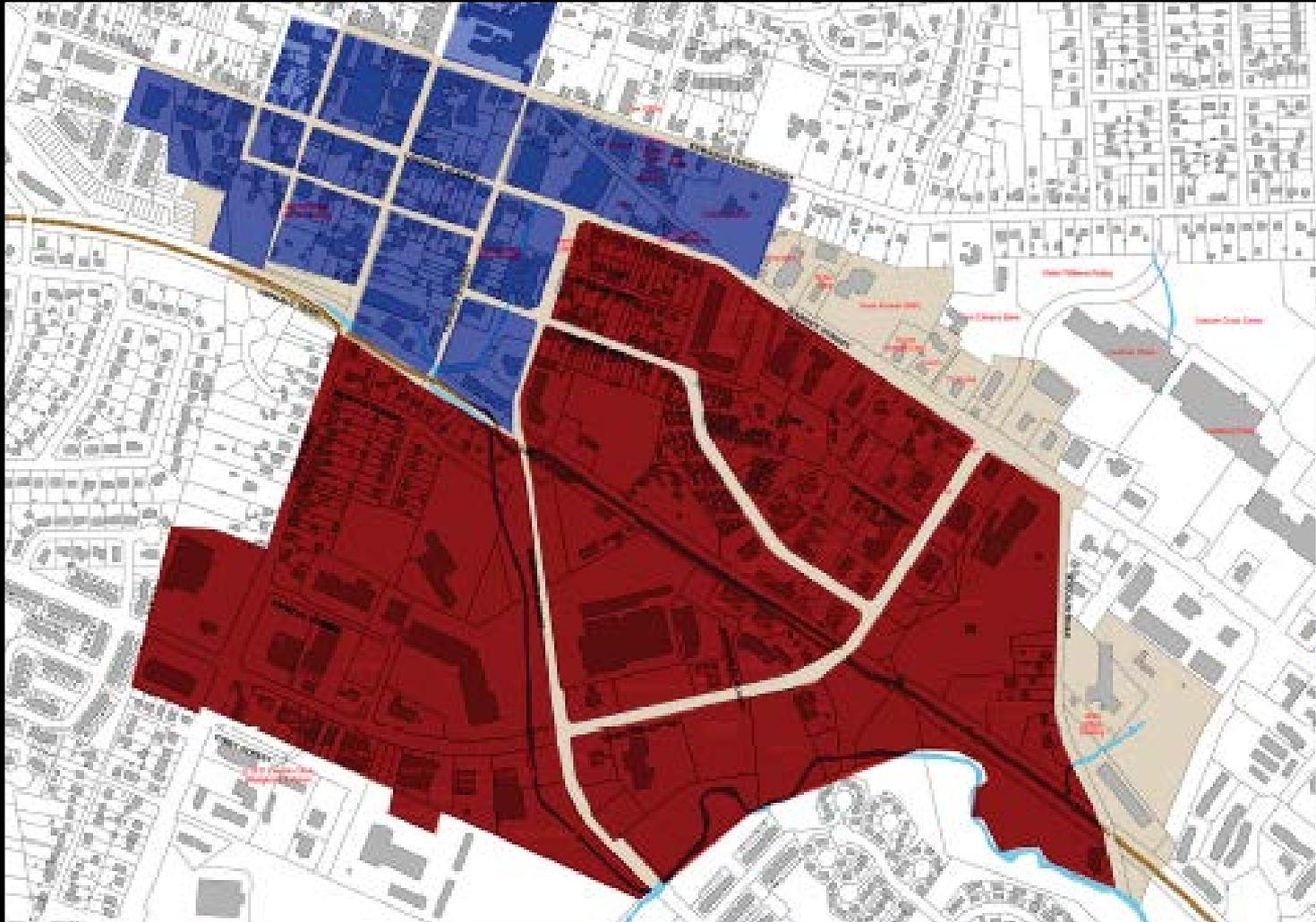


Crescent District Study Area



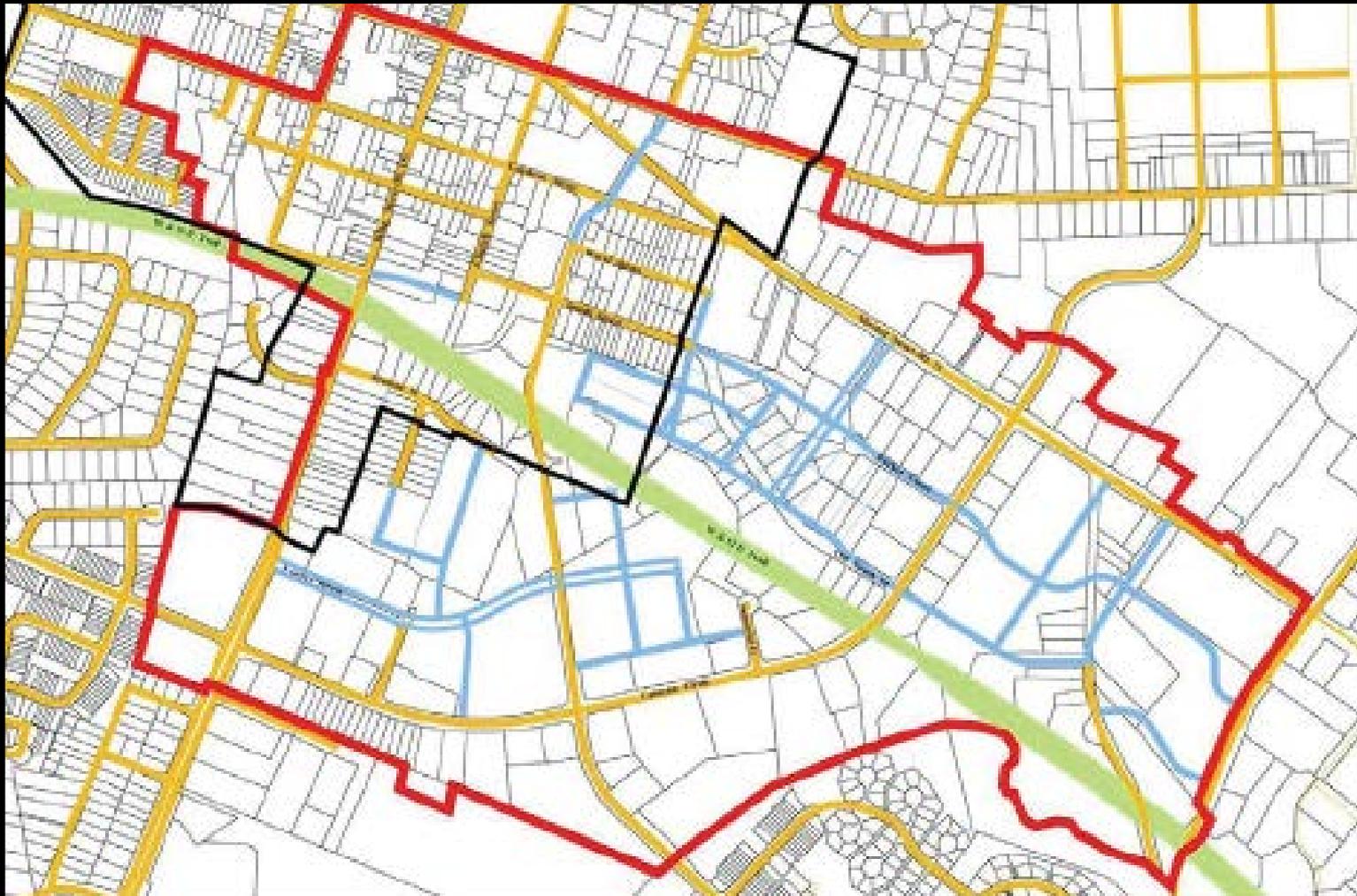
Crescent District Master Plan

street network & block structure

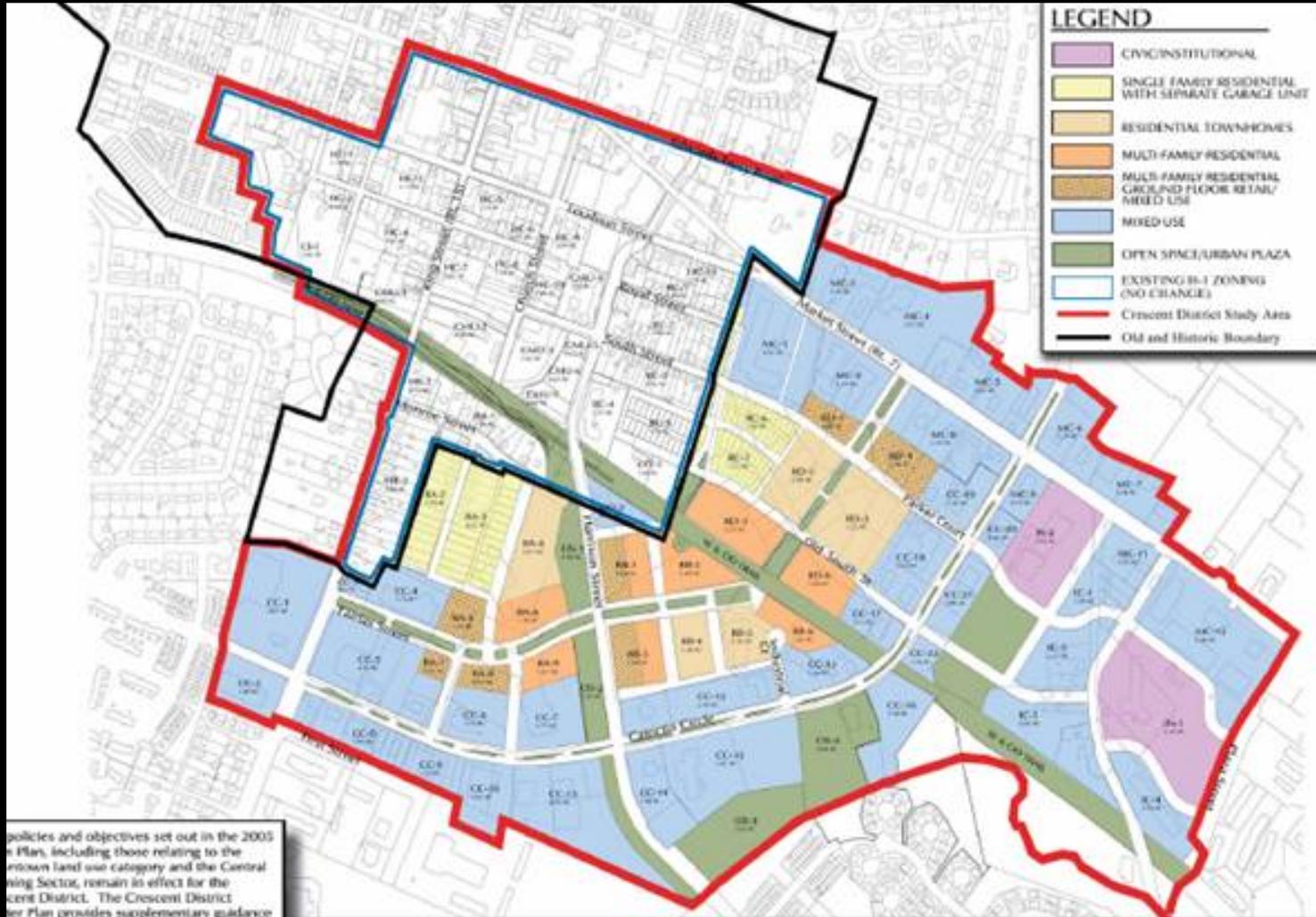


Crescent District Master Plan

street network & block structure



Crescent District Master Plan proposed land use and open space



Overland Park Floating FBC

3.4 MIXED-USE DEVELOPMENT TYPES

MIXED-USE DISTRICT

Mixed-Use Development Type Examples

Note: The plans provided are for explanatory purposes only; these plans do not represent projects that are currently in the planning or development phase. No plan included shall be construed to represent development that is proposed or required to occur on a particular site.



Mixed-Use Corridor Development	
Development Specifications	
Gross Land Area	6 acres
Site is within a Vision Metcalf Node?	Yes
Site abuts a thoroughfare, super-collector, or collector?	Yes



Mixed-Use Center	
Development Specifications	
Gross Land Area	35 acres
Site is within a Vision Metcalf Node?	No
Site abuts a thoroughfare, super-collector, or collector?	Yes



Mixed-Use Neighborhood	
Development Specifications	
Gross Land Area	50 acres
Site is within a Vision Metcalf Node?	Yes
Site abuts a thoroughfare, super-collector, or collector?	Yes



Mixed-Use Neighborhood

Mixed-Use Center

Mixed-Use Corridor Development

4.3 REGULATING PLAN

MIXED-USE DISTRICT



Mixed-Use Neighborhood

Mixed-Use Center

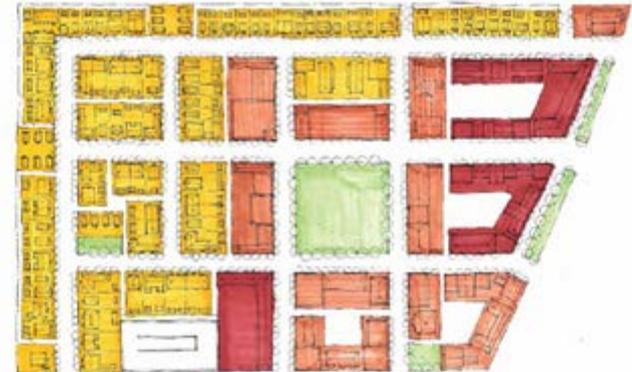
Mixed-Use Corridor Development

Intent:

4.3.1 A mixed-use development should not be zoned simply as a mixed-use district; it should be zoned based on the location of its core, center, general, edge, and/or civic sub-zones. Doing so ensures that the public and governing bodies can adequately evaluate a development's anticipated character and scale.

Standard:

4.3.2 As part of the development application, a plan shall be submitted that shows the disposition of sub-zones contained in the development. This plan shall be the regulating plan. The regulating plan shall be sub-zone specific to both the block and the lot.



Legend

- Core Sub-Zone
- Center Sub-Zone
- General Sub-Zone
- Civic Sub-Zone

Mixed-Use Neighborhood Regulating Plan Example	
Development Specifications	
Minimum Number of Sub-Zones Required for a Mixed-Use Neighborhood	4
Number of Sub-Zones Included in this Plan	4

4.1 SUB-ZONES

MIXED-USE DISTRICT



4.1.3 The Core Sub-Zone is the most dense area consisting of primarily taller, mixed-use buildings and cultural and entertainment attractions for a region. This sub-zone is typically the most developed sub-zone but still has a tight network of streets and blocks including wide sidewalks, consistent street tree plantings, and buildings set close to the street frontages.



4.1.4 The Center Sub-Zone is the equivalent of the main street area; this sub-zone includes mixed-use building types that will accommodate retail, offices, and dwelling units. Other residential building types include townhouses and apartments. This sub-zone has a tight network of streets and blocks with wide sidewalks, consistent street tree plantings, and buildings set close to the street frontages.



4.1.5 The General Sub-Zone has a denser and primarily residential urban fabric; mixed-use buildings are usually confined to certain corner locations. This sub-zone has a wide range of building types: single family detached houses, townhouses, apartment buildings, and more. Setbacks and street tree plantings are more variable. Streets typically define medium-sized blocks.



4.1.6 The Edge Sub-Zone is similar in density to conventional residential areas but differs by its superior connectivity. This sub-zone is more naturalistic in planting. Blocks may be large and more irregular to accommodate site conditions.



4.1.7 The Civic Sub-Zone consists of sites reserved for Civic Buildings and open space. This sub-zone includes land reserved for parks, greens, squares, plazas, pedestrian paths, and civic buildings.



Mixed-Use
Neighborhood

Mixed-Use
Center

Mixed-Use
Corridor Development

4.4 ALLOWED BUILDING TYPES

MIXED-USE DISTRICT



4.4.4 Type I. Mixed-Use Building is a structure with a vertical mixture of uses. The upper floors may be used for office, residential, lodging, storage, or parking; the

ground floor (lot frontage at the street level) may be used for retail or office.



4.4.5 Type II. Live/Work Building is a dwelling unit that contains, to a limited extent, a retail or office component. A live/work building is a fee-simple unit on its own lot with

the commercial component limited to the ground level.



4.4.6 Type III. Civic Building is a structure specifically designed for a civic function. Buildings and structures for public or private assembly, including places of

worship and schools, shall be considered civic buildings.



4.4.7 Type IV. Commercial Building is a single-use, one-story structure with either office or retail use.



4.4.8 Type V. Apartment Building is a structure with more than two dwelling units on one lot. The apartment building type may also be used for lodging purposes.



4.4.9 Type VI. Townhouse is a dwelling unit attached by a common wall to at least one other dwelling unit. A townhouse is generally a fee-simple unit, from ground to

roof, with no units above or below. Structures containing townhouses must contain at least three townhouses.



4.4.10 Type VII. Flat-over-Flat (Duplex) is a structure with two dwelling units placed one above the other.



4.4.11 Type VIII. Paired House (Duplex) is a structure with two dwelling units placed one beside the other sharing a common wall.



4.4.12 Type IX. Single Family Detached House is one dwelling unit on its own lot, detached from structures on adjoining lots. An accessory unit may be located on the same lot as a single

family detached house; the accessory unit may be attached or detached to the single family detached house.



4.4.13 Type X. Accessory Unit is a dwelling unit that is located over a garage on the same lot as the main structure. An accessory unit may also be a single-story dwelling unit, not

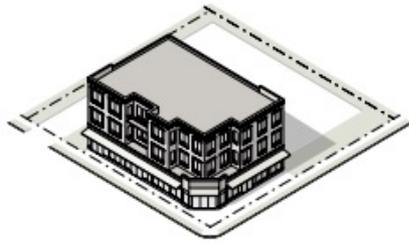
associated with a garage, located on the same lot as the main structure. An accessory unit may be attached or detached from the main structure and is located to the rear of the lot.



Mixed-Use
Neighborhood

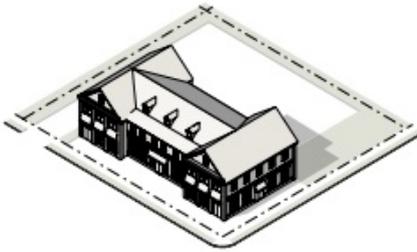
Mixed-Use
Center

Mixed-Use
Corridor Development



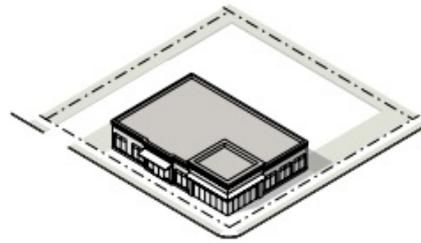
A. Mixed Use Building

A building type that accommodates ground floor commercial uses with upper-story residential or office uses.



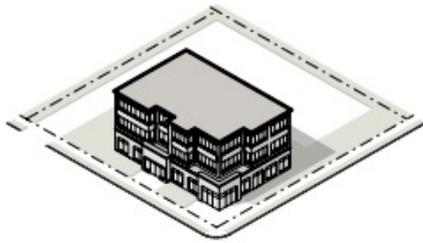
B. Traditional Shopfront

A building type that accommodates ground floor commercial uses with upper-story residential or office uses at a scale that complements the historic character along Dunning.



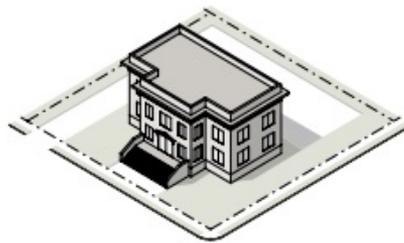
C. Single-Story Shopfront

A single-story, large format building type that accommodates a variety of commercial uses.



D. General Building

A building type that accommodates commercial, office or employment uses.



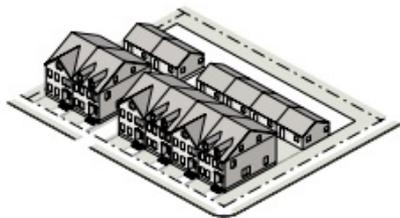
E. Civic Building

A building that accommodates civic, institutional or public uses.



F. Apartment

Three or more dwelling units vertically and horizontally integrated.



G. Townhouse

Three or more dwelling units where each unit is separated vertically by a party wall.



H. Cottage Court

Five or more detached houses organized around an internal courtyard.



I. Detached House

One dwelling unit on an individual lot with yards on all sides.

5.3 BUILDING ENVELOPES

MIXED-USE DISTRICT

Comment. Inclusion of a specific building type in this table shall not imply its applicability in a sub-zone; permitted building types for each sub-zone are listed in the Allowed Building Types standard.

Intent:

5.3.1 To ensure a compatible and consistent streetscape, a mixed-use development should specify where a building must be located on a lot.

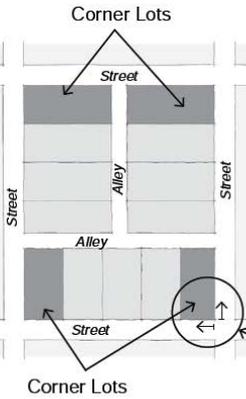
Standard:

5.3.2 Possible building envelopes are regulated by sub-zone and building type and are measured from the property line according to the following table. In existing neighborhoods, building setbacks shall align with existing adjacent structures for all building types except mixed-use building, live/work building, and small commercial building.

Mixed-Use Neighborhood

Mixed-Use Center

Mixed-Use Corridor Development



Building Type (see comment)	Sub-Zone	
	Core & Center	
	Corner Lots	Interior Lots
I. Mixed-Use Building		
II. Live/Work Building		
IV. Commercial Building	Notes 1 & 2 apply	Note 1 applies
III. Civic Building		
V. Apartment Building		
VI. Townhouse		
VII. Flat Over Flat (Duplex)		
VIII. Paired House (Duplex)		
IX. Single Family Detached House		
X. Accessory Unit	Notes 1 & 2 apply	Note 1 applies

- **Note 1.** At least 80% of the building facade length shall be located at the front setback line.
- **Note 2.** At least the first 30' of all street-facing facades, as measured from the building corner located at the intersection of two or more streets, shall be located at the applicable front or side setback line; note 2 applies to all street-facing facades on corner lots in core and center sub-zones.

5.3 BUILDING ENVELOPES

MIXED-USE DISTRICT

Comment. Inclusion of a specific building type in this table shall not imply its applicability in a sub-zone; permitted building types for each sub-zone are listed in the Allowed Building Types standard.

Building Type (see comment)	Sub-Zone	
	General	Edge
	Corner & Interior lots	Corner & Interior lots
I. Mixed-Use Building		Not Applicable
II. Live/Work Building		
IV. Commercial Building		
III. Civic Building		
V. Apartment Building		
VI. Townhouse		
VII. Flat Over Flat (Duplex)		
VIII. Paired House (Duplex)		
IX. Single Family Detached House		
X. Accessory Unit		

Mixed-Use Neighborhood

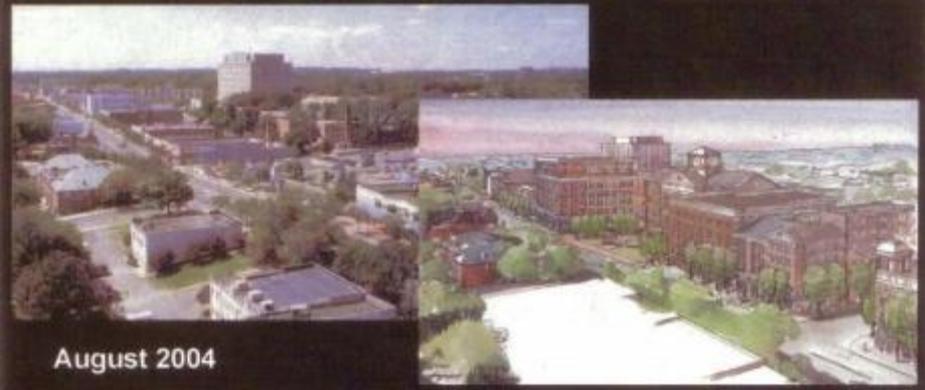
Mixed-Use Center

Mixed-Use Corridor Development

Arlington, VA

The Columbia Pike Special Revitalization District Form Based Code

Section 20 (Appendix A) of the Zoning Ordinance,
"CP-FBC" Columbia Pike - Form Based Code Districts



August 2004



Principles and Regulations

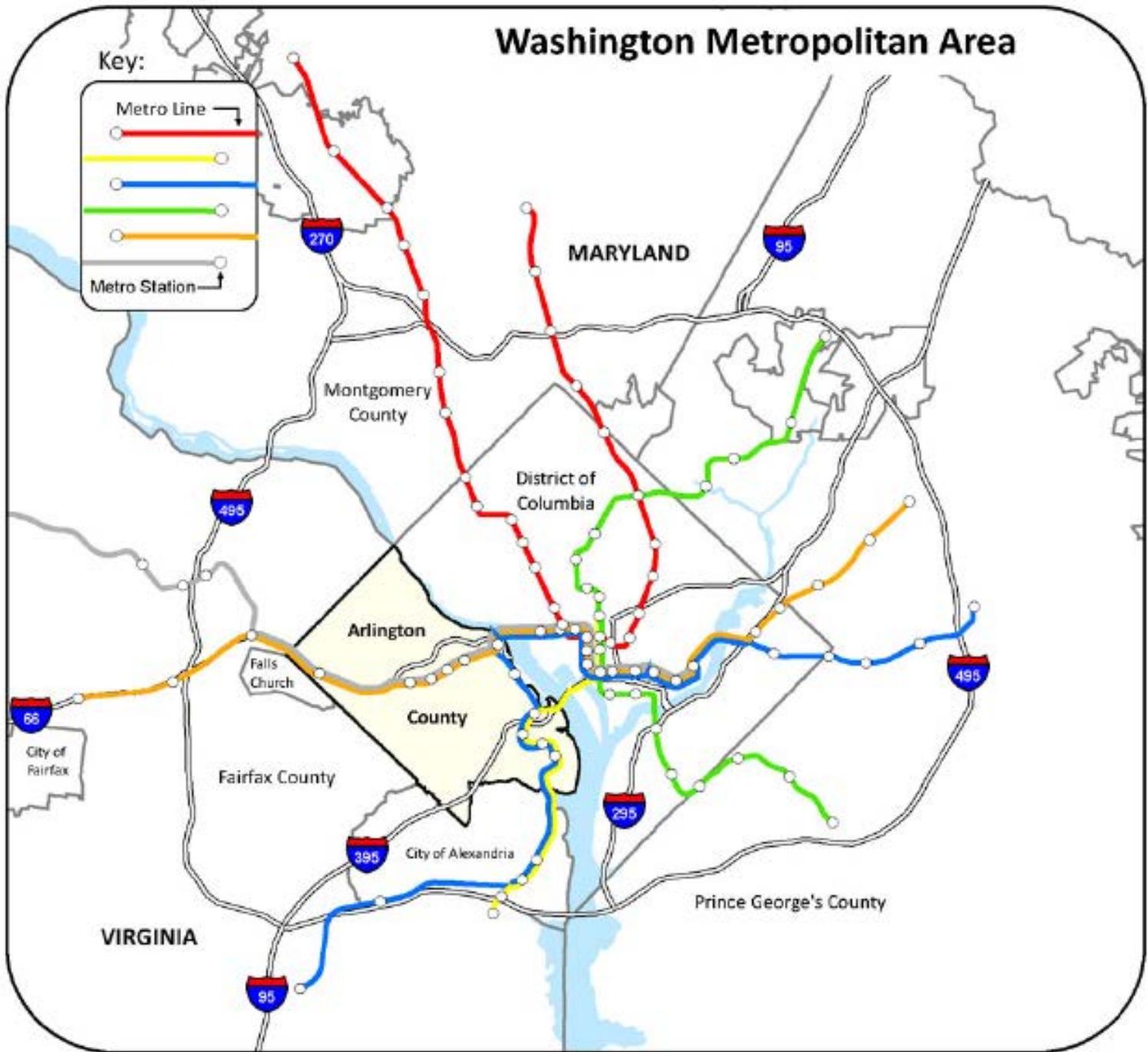
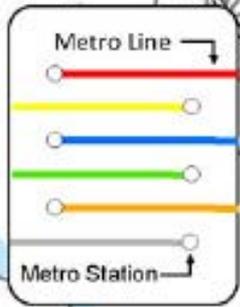
- Regulating Plans
- Building Envelope Standards
- Streetscape Standards
- Architectural Standards
- Administration

Adopted February 25, 2004³

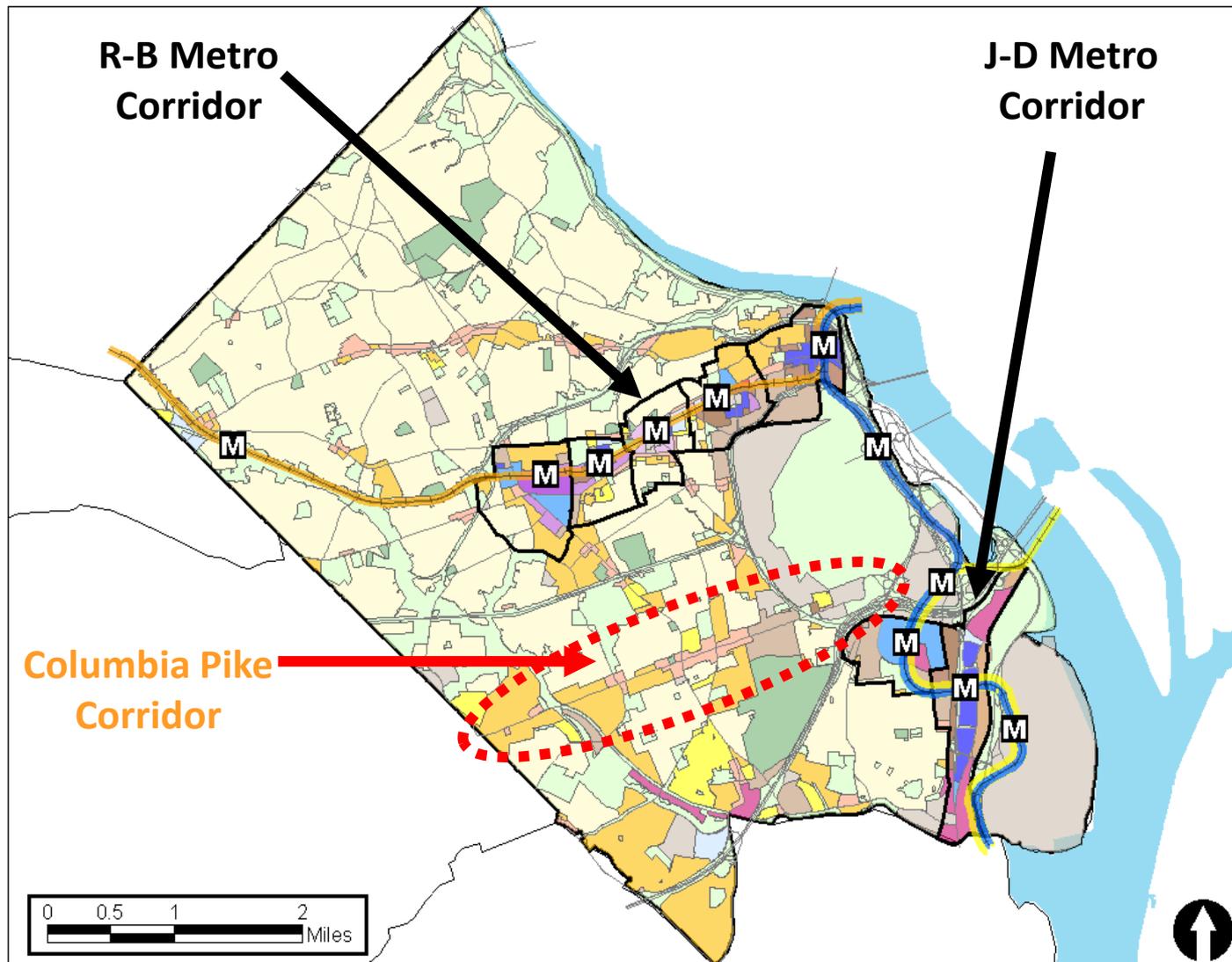
Amended February 10, 2004 and May 15, 2004

Washington Metropolitan Area

Key:



Arlington, VA

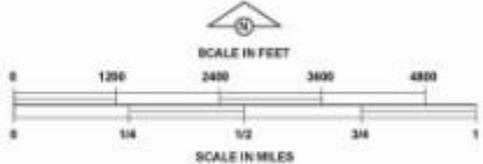
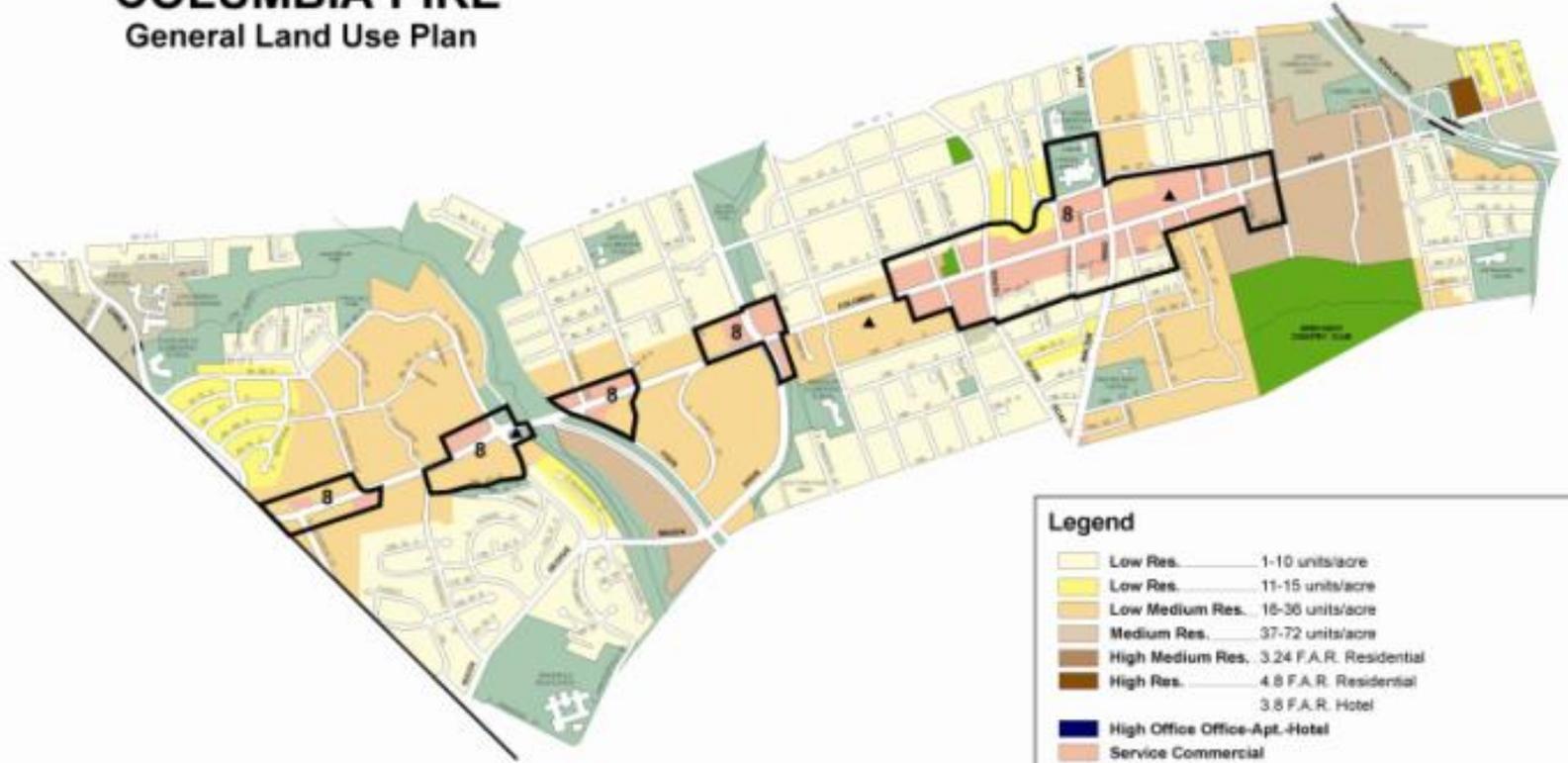


History

- The Pike is considered the most underused area in Arlington County
 - aging strip centers
 - garden apartments
 - fast food
 - high rise suburban condominiums
 - auto dealerships (new & used)
- Arlington wanted to incentivize redevelopment
- Most parcels were unbuildable under by-right zoning
- Alternative Site Plan process took 18-24 months

Columbia Pike Revitalization District

COLUMBIA PIKE General Land Use Plan



Legend

- Low Res. 1-10 units/acre
- Low Res. 11-15 units/acre
- Low Medium Res. 15-30 units/acre
- Medium Res. 37-72 units/acre
- High Medium Res. 3.24 F.A.R. Residential
- High Res. 4.8 F.A.R. Residential
3.8 F.A.R. Hotel
- High Office Office-Apt.-Hotel
- Service Commercial
- Public
- Semi-Public
- Government & Community Facilities
- General Land Use Plan Proposed Changes
- Special Revitalization District
- ▲ Open Space Symbol

Note: 8 These areas were designated a "Special Revitalization District": Columbia Pike on 11/15/86 and amended on December 17, 2002; Lee Highway/Cherydale area on 4/1/95.

Focus on Commercial Centers

Lack of development activity

Columbia Pike Initiative (CPI)

Form Based Code (FBC)

Street Space Task Force

CPI Update

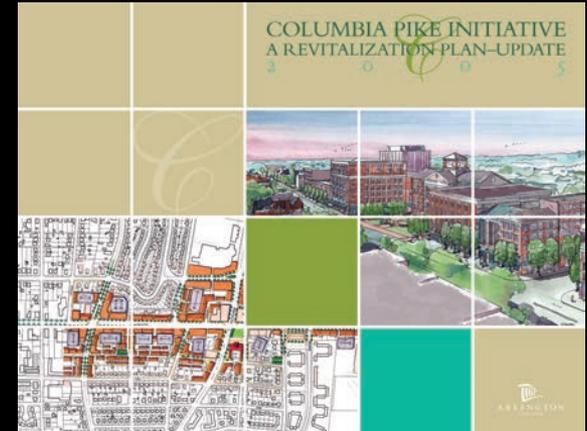
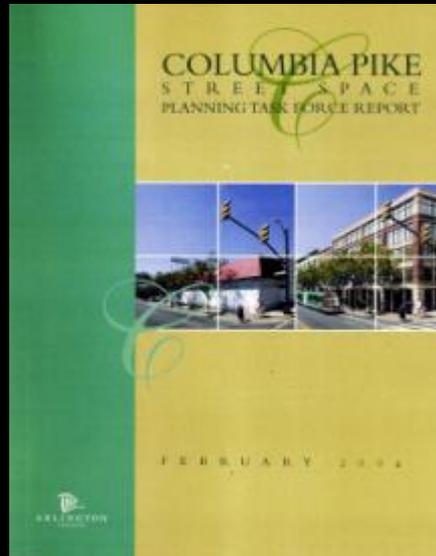
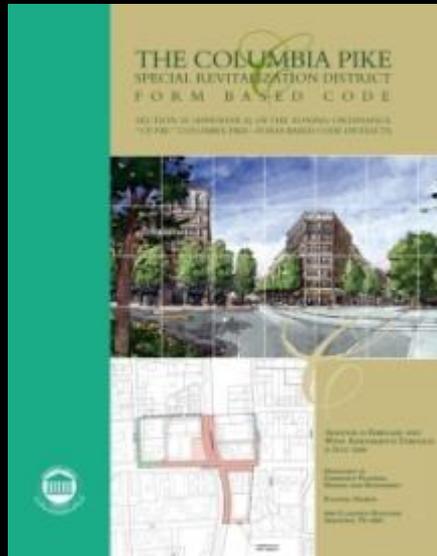
1990's

2002

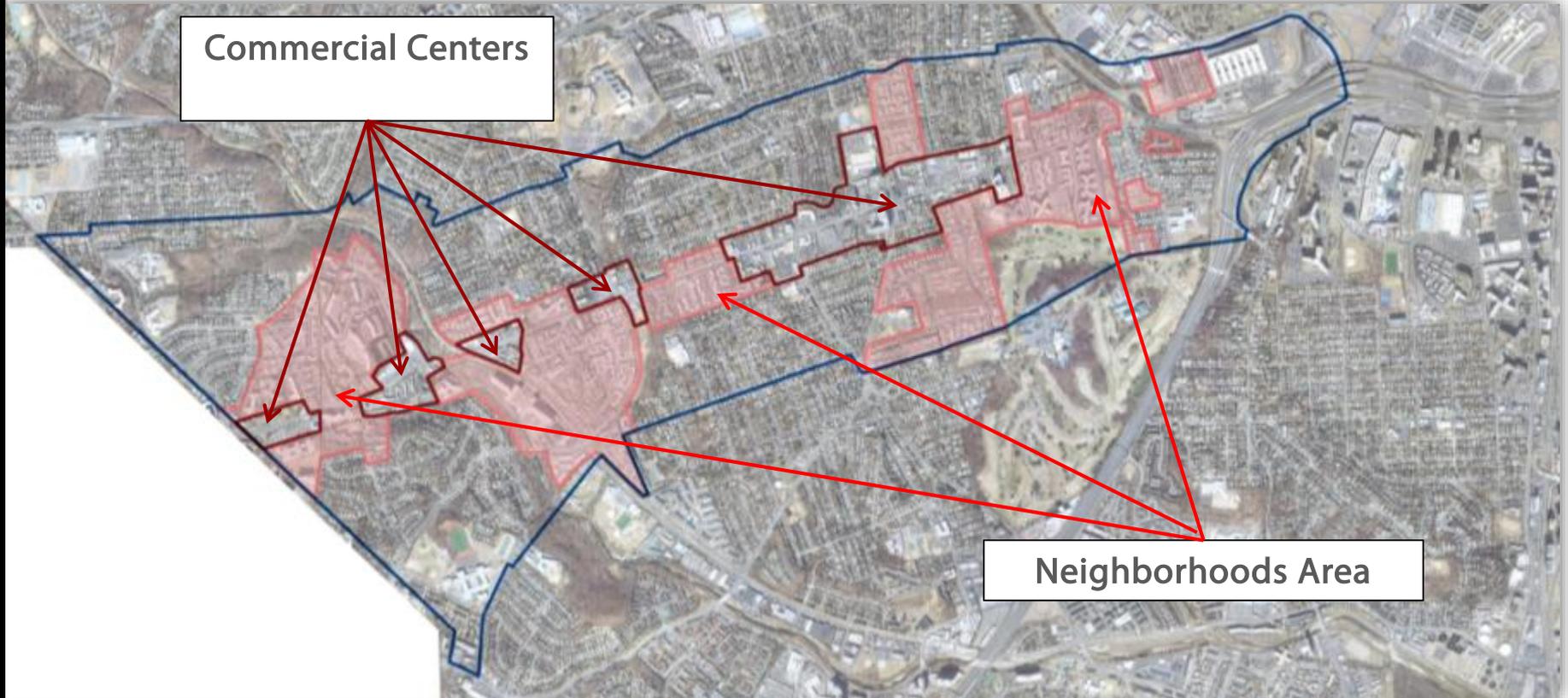
2003

2004

2005



Land Use & Housing Study



Columbia Pike Masterplan

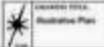
3.5-mile Corridor



Columbia Pike
Shelby County, Virginia

2022-2023
DAVID KING & PARTNERS
2277 Airport Blvd.
Cary, NC 27513
919-488-6888

2022
GENEYRE FERRELL ASSOCIATES
4100 WISCONSIN AVE.
WASHINGTON DC 20007
202-462-1700



Context



Land-Use and Density are Highly Regulated





Why an optional code for Columbia Pike?

1. political reasons
2. process reasons
3. economic reasons
4. legal reasons

Columbia Pike -- 2002 Safeway (the *before* image)





Purpose

Columbia Pike Special Revitalization District – Form Based Code

ARLINGTON COUNTY ZONING ORDINANCE

SECTION 20. "CP-FBC" – COLUMBIA PIKE FORM BASED CODE DISTRICTS

The purpose of the "CP-FBC" District classification is to provide an alternate means of development that promotes mixed-use development where the variety in retail, service, residential and office uses is intended to serve a broad-based community. Properties zoned "S-3A", "RA8-18", "RA14-26", "RA7-16", "RA6-15", "C-1", "C-2", "C-3", "C-O", and "C-O-1.0" and that are located in the Columbia Pike Special Revitalization District, as designated on the General Land Use Plan, shall be eligible to develop in accordance with the "CP-FBC" District requirements. The "CP-FBC" District provides for an expanded range of uses, greater density and more flexibility than the other service commercial and apartment zoning districts while promoting mixed-use development. Specific requirements have been adopted to encourage and regulate by-right mixed-use development in accord with the Form Based Code.

...to provide an alternate means of development that promotes mixed-use development...

CP-FBC Table of Contents

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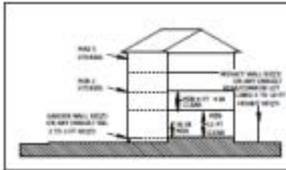
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CP-FBC: New section to the Arlington County Zoning Ordinance

- All underlying zoning remains in place
- Under the form-based code:
- 2 tiers: based on size and/or need for minor variation
 - By-right (less than 40,000 sf & meeting FBC)
 - Special Exception (all others)
- If the form-based code is chosen, all aspects come into play

Building Envelope Standards

C. BUILDING ENVELOPE STANDARDS: AVENUE SITES



Height Specifications

Height Specifications

Building Height

1. Principal building height is measured in stories.
2. Buildings shall be between 2 and 7 stories in height, except where otherwise noted here or in the Resource Plan.

Building Structure Height

No parking structure within the area shall exceed the use height of any building (built after 2002) within 50 feet of the parking structure.

Upper Story Height

1. The upper story finished floor elevation of any residential unit shall be no less than 36 inches above the finished sidewalk.
2. The maximum floor-to-floor clear height for the upper story shall be 24 feet.
3. No less than 80 percent of the upper story shall have at least 12 feet in clear height.

Upper Story Height

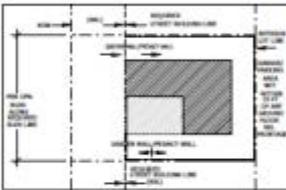
1. The maximum floor-to-floor clear height for upper floors is 24 feet.
2. At least 80 percent of each upper story shall have at least 8 feet 4 inches clear (floor to ceiling) height.

Massing and Decking

Massing and decking greater than 1/3 of the floor area footprint shall be counted as a full story.

Clear

Where any part of an Avenue site is within 40 feet of a Lane, Front (or Rear) Side or an existing single family detached building, the maximum height for that portion is 33 feet to the eave or higher.



Siting Specifications

Siting Specifications

Corner Facade

1. The corner facade shall be built to the RFL, not less than 10 percent of the overall RFL.
2. That portion of a facade that is required to be built to the RFL shall be composed as a simple plane (limited gable less than 28 inches are considered a simple plane where the requirement is measured only by porches, eaves, air screens, sheetrock, and accents).

Business Area

Buildings shall occupy only the area of the lot specified in the siting specifications of the Resource Plan as applicable areas. The diagram above provides a sample building footprint. No part of any building (including overhanging eaves and not permitted balconies, air screens, eaves, and awnings) shall encroach into the street beyond the RFL. No part of any building (including overhanging eaves, awnings, eaves, and small and unroofed garden structures) shall occupy the remaining lot area. The minimum open contiguous area shall comprise at least 30% of the total Business Area and can be located anywhere within the Business Area of the site.

Side Lot Line

There are no required side setbacks unless shared with an existing single family house where an 8-foot setback is required.

Garage and Vehicle Enclosure

1. Any garage and/or parking areas for vehicles (bikes, trailers, boats, etc.) except where parking

is located in an auxiliary structure, enclosed in a rear-loading town-house garage, or in a below grade garage or similar property shall not be located within 25 feet from any RFL and shall be screened from the street by a screen wall.

2. Parking access shall be from an alley where present. Designated access areas and access shall be the sole means of automobile access to a lot unless otherwise approved by the Zoning Administrator with a recommendation from the Avenue/Innovative Review Team.

3. Garage doors shall not face (be at an angle of less than 90 degrees from the RFL, or right of way) the RFL.

4. These requirements are not applicable to on-street parking.

Access

On sites with no alley access, there shall be a 25-foot setback from the rear lot line.

Corner Lot

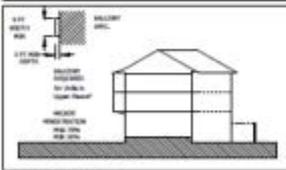
Corner lots shall be treated as having eaves/awnings on both the front and side streets (or RFLs).

Unroofed RFL, Eave, and/or Eaves Lot Line

Any unroofed RFL shall have a screen wall along it, between 2 feet and 3 feet in height. Any unroofed rear or corner lot line that is located more than 15 feet behind the RFL, may have a screen wall along it that is 7 feet in height.

Clear

The Business Review Process for Lane Sites may be utilized on Avenue Sites.



Elements Specifications

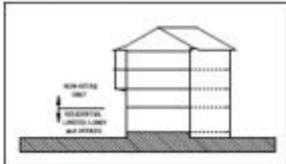
Elements Specifications

Permeability

Permeability shall be between 30 percent and 70 percent of all RFL building facade (when measured as a percentage of the area of each facade and area between 2 and 5 feet above the finished floor). Blank lengths of wall along any RFL facade of more than 20 linear feet are prohibited.

Access

When provided, access are required to be a minimum of 3 feet deep and 8 feet wide (meant where the RFL is within 8 feet of a right of way).



Use Specifications

Use Specifications

General Use

A Avenue Avenue may include residential use and have small professional office, building lobby, or building manager's residence office (each less than 1,000 square feet). (Retail uses are permitted on a Avenue Avenue where the underlying zoning is zoned commercial "C" or where properties are zoned "C-PAC")

Upper Stories

Retail uses are not permitted on upper stories. However business and professional offices including

medical, legal, insurance, philanthropic, real estate, banking and other offices which is the judgement of the Zoning Administrator with a recommendation from the Avenue/Innovative Review Team are of the same general character as those listed above may be located on the second floor.

Process

- Submit plans to confirm compliance
 - Staff assessment with Checklist
- Advisory Working Group Review
- Submit Use Permit Amendment Application
- Community Meeting
- PC and CB public hearings



Timing
Varies

60 days

Review Process

- 30-Day Administrative (Staff) Review - Sites less than 40,000 Sq. Ft.
- 55-Day Use Permit Review - Sites greater than 40,000 Sq. Ft.
 - One community meeting
 - Planning Commission review
 - County Board approval

Project Checklist

Outline ID	Q. Number	Section	Sub_section	Statement	Question	Compliant Answer	Response	Lead Planner	Conferring Planner
Ma.IV.A	98	Building Envelope Standards	General Guiding Principles	BES General Guiding Principles - A. Buildings should be aligned and close to the street. Property lines are to be physically defined by buildings or street walls. B. Streetscape must demonstrate coherent building forms and create clear community identity. C. Buildings must have active uses along the street front to promote vitality. D. Sites must have clearly defined public and private spaces. E. Buildings should direct views to the urban streetscape and to courtyards and public spaces. F. Vehicle storage, refuse containers, and mechanical equipment should not be visible and must be kept away from street fronts. G. Retail should be located along the ground floor to promote vitality and active use. H. Off-street parking should be shared by multiple users to maximize resources and alleviate on-street parking. I. Any structures which have historic character must be preserved and the proposed design must complement and incorporate historic structures within the site.	Is the project consistent with the appropriate BES shown on the Regulating Plan?	CONSISTENT		Jennifer Smith	Jennifer Smith
Ma.IV.B.1.1	99	Building Envelope Standards	Height Specifications	Heights are measured in stories and buildings are to be between 3 and 6 stories, except where noted elsewhere or in the Regulating Plan.	Is the building between 3 and 6 stories, except where noted elsewhere or in the Regulating Plan?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.2	100	Building Envelope Standards	Height Specifications	No parking structure within the block shall exceed the eave height of any building (built after 2002) within 50 feet of parking structure.	Are all parking structures within the block no greater in height than the eave of any building (built after 2002) that is within 40 feet?	YES or N/A		Jennifer Smith	Urban Designer
Ma.IV.B.1.3	101	Building Envelope Standards	Height Specifications	The ground story floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building.	Is the ground story floor elevation between 6 inches below and 24 inches above the sidewalk elevation at the front of the building?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.4	102	Building Envelope Standards	Height Specifications	The maximum floor-to-floor story height limit for the ground floor is 24 feet.	Is the maximum floor-to-floor story height for the ground floor 24 feet?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.5	103	Building Envelope Standards	Height Specifications	The ground floor shall have at least 15 feet clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.	Does the ground floor have at least 15 feet clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.6	104	Building Envelope Standards	Height Specifications	The maximum floor-to-floor story height limit for stories other than the ground story is 14 feet.	Is the maximum floor-to-floor story height for all stories, other than the ground story, 14 feet?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.7	105	Building Envelope Standards	Height Specifications	At least 80 percent of the upper stories shall each have at least 9 feet clear (floor to ceiling) height and the uppermost story shall have at least 10 feet clear height.	Do at least 80 percent of the upper stories each have at least 9 feet clear (floor to ceiling) height and does the uppermost story have at least 10 feet clear height?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.1.8	106	Building Envelope Standards	Height Specifications	Mezzanines greater than 2/3 of the floor area footprint shall be counted as a full story.	Are there any mezzanines greater than 2/3 of the floor area footprint? If no, skip next question.	YES or NO		Jennifer Smith	Urban Designer
Ma.IV.B.1.8a	107	Building Envelope Standards	Height Specifications		If yes, have they been counted as an additional story?	YES or N/A		Jennifer Smith	Urban Designer
Ma.IV.B.1.9	108	Building Envelope Standards	Height Specifications	Any unbuild alley and/or common lot line frontage shall have a street wall, 7 feet in height, as measured from the adjacent sidewalk or the ground elevation when not fronting a sidewalk.	Does any unbuild alley and/or common lot line frontage have a street wall, 7 feet in height, as measured from the adjacent sidewalk or the ground elevation when not fronting a sidewalk?	YES or N/A		Jennifer Smith	Urban Designer
Ma.IV.B.1.10	109	Building Envelope Standards	Height Specifications	Where a Main Street site is within 40 feet of a Local Site, Neighborhood Site or a single-family home, the maximum height for that portion is 32 feet to the eaves or parapet.	Where any part of a Main Street Site is within 40 feet of a Local Street, Neighborhood Site, or single family home, is the maximum height for that portion 32 feet to the eaves or parapet?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.1	110	Building Envelope Standards	Siting Specifications	The street facade shall be built to not less than 75 percent of the overall RBL. However, the ground floor portions of the street facade within 7 feet of a block corner are exempt from this requirement in order to allow special corner treatments in these areas.	Is the street facade built to not less than 75 percent of the overall RBL where exceptions are permitted for the ground floor within 7' of a block corner?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.2	111	Building Envelope Standards	Siting Specifications	That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement, interrupted only by Porches, Stoops, Bay Windows, shopfronts, and Balconies.	Is that portion of the facade that is required to be built to the RBL shall be composed as a simple plane (as defined above) interrupted only by porches, stoops, bay windows, shopfronts, and balconies?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.3	112	Building Envelope Standards	Siting Specifications	Buildings shall occupy only the area of the lot specified in the siting specifications of the BES as Bulivable Area.	Does the building occupy only the area of the lot specified in the siting specifications of the BES as a bulivable area?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.4	113	Building Envelope Standards	Siting Specifications	No part of any building excepting overhanging eaves and BES permitted balconies, bay windows, stoops, and shopfronts shall encroach into the street beyond the RBL.	Are all parts of the building, with the exception of BES permitted balconies, bay windows, stoops and shopfronts, within the RBL?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.5	114	Building Envelope Standards	Siting Specifications	No part of any building (excepting overhanging eaves, balconies, stoops, and small and unroofed garden structures) shall occupy the remaining Lot area. The minimum open contiguous area shall comprise at least 15% of the total bulivable area and can be located anywhere within the bulivable area of the site.	Does the building satisfy these requirements and does the minimum open contiguous lot area comprise at least 15% of the total bulivable area?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.6	115	Building Envelope Standards	Siting Specifications	There are no required side lot line setbacks unless shared with an existing single-family house.	Does the property share a side lot line with a single family house?	YES/NO		Jennifer Smith	Urban Designer
Ma.IV.B.2.7	116	Building Envelope Standards	Siting Specifications	An 8-foot setback is required along a side lot line where shared with an existing single-family house.	If yes above, is there a minimum setback of 8 feet provided along side lot line?	YES or N/A		Jennifer Smith	Urban Designer
Ma.IV.B.2.8	117	Building Envelope Standards	Siting Specifications	Garage/parking entrances shall be no closer than 50 feet from any Building Corner or 100 feet from any Block Corner (except where otherwise designated on the Regulating Plan).	Is the garage/parking entrance(s) no closer than 50 feet from any Building Corner or 100 feet from any Block Corner (except where designated on the Regulating Plan)?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.9	118	Building Envelope Standards	Siting Specifications	Designated Garage Entries and Alleys shall be the sole means of automobile access to a site.	Has the automobile access been provided from designated garage entries and alleys?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.10	119	Building Envelope Standards	Siting Specifications	Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.	Have the garage doors been situated in such a way that they do not face the RBL?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.11	120	Building Envelope Standards	Siting Specifications	Vehicle parking areas (except where a street wall exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-street parallel parking.	Are the vehicle parking areas, except where a street wall exists or parking is enclosed within an ancillary building, on private property not located within 25 feet of the RBL?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.12	121	Building Envelope Standards	Siting Specifications	On sites with no alley access, there shall be a 25-foot setback from the rear lot line.	Does this site have alley access?	YES or NO		Jennifer Smith	Urban Designer
Ma.IV.B.2.13	122	Building Envelope Standards	Siting Specifications	On sites with no alley access, there shall be a 25-foot setback from the rear lot line.	If no above, is there a 25-foot setback from the rear lot line?	YES or N/A		Jennifer Smith	Urban Designer
Ma.IV.B.2.14	123	Building Envelope Standards	Siting Specifications	Corner lots shall be treated as having street frontage on both the front and side streets (or RBLs).	Is this a corner lot?	YES or NO		Jennifer Smith	Urban Designer
Ma.IV.B.2.15	124	Building Envelope Standards	Siting Specifications		If yes above, have the corner lots been treated as having street frontage on both the front and side streets (or RBLs)?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.2.16	125	Building Envelope Standards	Siting Specifications	Any unbuild RBL shall have a street wall along it, between 6 feet and 10 feet in height. Street walls may also be constructed along any unbuild common lot line.	Is there an unbuild RBL or unbuild common lot line?	YES or NO		Jennifer Smith	Urban Designer
Ma.IV.B.2.17	126	Building Envelope Standards	Siting Specifications	Any unbuild RBL shall have a street wall along it, between 6 feet and 10 feet in height. Street walls may also be constructed along any unbuild common lot line.	If yes to above, does the unbuild RBL have a street wall along it, between 6 feet and 10 feet in height?	YES		Jennifer Smith	Urban Designer
Ma.IV.B.3.1	127	Building Envelope Standards	Elements Specifications	The ground story facade shall have between 60 percent and 90 percent fenestration (measured as a percentage of the facade that is between 2 and 10 feet above the fronting sidewalk). Awnings and overhangs are encouraged (except where otherwise designated on the Regulating Plan).	Does the ground story facade have between 60 percent and 90 percent fenestration, as measured per these requirements?	YES		Jennifer Smith	Urban Designer

Incentives

- Streamlined review & approval process
- New parking standards (and management strategy)
- Historic preservation
- Increased flexibility & density

In general, most properties have more development potential under the FBC



City of Annapolis Form-Based Code Discussion

Parking Standards

Downtown Core

Commerce

< 10,000 square feet - no minimum parking requirements; 2 ¼ per 1,000 max
> 10,000 square feet – 1 ¼ per 1,000 minimum; 2 ¼ max on surface parking

Residential

1 – 2 parking spaces per unit

Outside of Core

Commerce

< 10,000 square feet - no minimum; 3 spaces per 1,000 sq. ft. maximum
> 10,000 square feet – 1 ¼ per 1,000 minimum; 3 max on surface parking

Residential

1- 2 parking spaces per unit

Parking Standards



Parking Standards



Overland Park Administration

Non-Conformities

Single-family and duplex structures:

Repairs, remodeling, and additions to a single-family or duplex structure may be made without limitation.

Other Structures:

Additions of up to 10% of the square footage may be made subject to conformance with only the architectural requirements of the form-based code.

Additions greater than 10% but equal to or less than 50% of the square footage may be made subject to conformance with the architectural requirements of the code and the site requirements of the code relative to the new addition only.

Additions greater than 50% of the square footage of a non-conforming structure or which exceed 75% of the Johnson County Appraised value of the non-conforming structure shall be made in conformance with the code. Non-conforming site improvements must also be brought into complete conformity with the regulations applicable to the form-based code.

Arlington FBC

Acceptable Modifications

- Historic Preservation
- Topography
- Location of Streets & Alleys
- Trees / Streetscape details
- Signage